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Acknowledgements

HMC Architects submits the CUSD Facility Needs Assessment with acknowledgement to the District's Facility Division, Maintenance & Operations staff, Director of Construction & Engineering and over-all support from the office of the Assistant Superintendent, Facility Services. HMC would like to acknowledge the District Facility Audit Leadership team (listed below) for their support of the process to clarify and define the District building standards and their ongoing support of the facility audit process.

Board of Education

Sandra A. Bengel
Christopher Casado
Brian D. Heryford
Ginny Hovsepian
Elizabeth J. Sandoval
Scott Troescher
Jim van Volkinburg, DDS

District Superintendent

Terry Bradley, Ed.D, Superintendent

Steering Committee

Don Ulrich, Assistant Superintendent, Facility Services
Steve Ward, Associate Superintendent, Business Services
John Poytress, Director of Plant Operations
Stan Kawaguchi, Grounds Supervisor
Brad Pawlowski, Maintenance Supervisor
Chris Allen, Custodial Supervisor
Bill Rice, Custodial Supervisor
Robert Schram, Food Services Supervisor
Rick Lawson, Director of Construction Services
Dan Resciniti, Director of Technology Services
Joe Bjerke, Director of Transportation

Acknowledgements (cont'd)

HMC Architects and Harris Construction also recognize the following team of local consultants for their diligence in conducting a detailed assessment of the current facilities on 33 school sites and 12 District support facilities constructed prior to 2001 in the time schedule outlined by the District. In addition, all District facilities were assessed for the condition of technology. Their recommendations and insights are based on over 100 years of collective experience in public school construction.

Consultant	Company	Role
Scott Griffith	HMC Architects	Principal in Charge
Walt Byrd	HMC Architects	Project Manager
Jeff Berrios, Mandie Abels, Rick Sacksteder, Stanley Ng	HMC Architects	Building Conditions
Doug Reitz	Harris Construction	Cost Estimation & Scheduling
Tyler Arrigoni, John Fowler, Gil Galvan	OneInterface.net	Electrical & Technology
Gary Lindeman, David Oustad	Lawrence, Nye, Anderson	Mechanical & Plumbing
Sean Smith, Fred Wong	Blair, Church & Flynn	Site, Turf, Irrigation

Our team recognizes the extraordinary commitment of the Clovis community for supporting five local school bond measures, and the Clovis Unified School District Governing Board and Superintendent for their commitment to providing “world class” facilities for the students, staff and community. Faced with significant encroachments to the general fund, the CUSD Governing Board continues to prioritize funding for the construction of new schools, modernization and improvement of existing facilities, and Maintenance & Operation. Although our team has identified a significant amount of work for the District for over the next 10 years, every consultant commented on the excellent condition of the facilities targeted in this audit. Our team also recognizes the on-going efforts of the Plant Operations staff for their commitment to maintain all District facilities in excellent condition.

Last but not least, our team would like to express appreciation to HMC's Ontario Office for their support of this project. In particular, we would like to recognize Amanda Ishak and Matt Endsley. Amanda and Matt proved to be an invaluable resource for our team in producing a final product that will serve as a roadmap to provide outstanding facilities for the students and staff of the Clovis Unified School District.



Executive Summary/Planning Guidelines

The primary goal of the CUSD Long Range Facility Audit was to provide the same “standard” of learning environment for all students, and working environment for all employees. The Clovis Unified School District issued a Request for Proposals on October 12, 2008 to select a firm to conduct a Long Range Facility Needs Assessment. On December 1, 2008, the District selected HMC Architects, in partnership with Harris Construction, to clarify the District’s building and equipment standards, and to conduct a detailed facility needs assessment of existing facilities constructed prior to 2001. The condition of the technology infrastructure was assessed for all District sites, as well.

The objectives of the CUSD Facility Audit Request for Proposals were:

- Identify standards for the District’s infrastructure
- Assess District facilities constructed prior to 2001 against these standards
- Assess all District facilities against standards for technology infrastructure
- Identify , prioritize, and estimate costs for projects that will move all District facilities toward approved standards
- Identify projects into a 10 Year Facility Master Plan, with projects prioritized for 1-2 years, 3-5 years, and 6-10 years

Project Scope

The scope of work for the CUSD Long Range Facility Audit included conducting a comprehensive audit of all current CUSD facilities constructed prior to 2001 (all sites were assessed for the condition of the technology infrastructure), including facilitating multiple meetings with site and District staff to clarify building and equipment standards for the following disciplines:

- Site Work
- Architectural/Building Conditions
- HVAC
- Plumbing
- Electrical
- Technology on all District facilities



Project Timeline

Phase 1: Completed by January 31, 2009

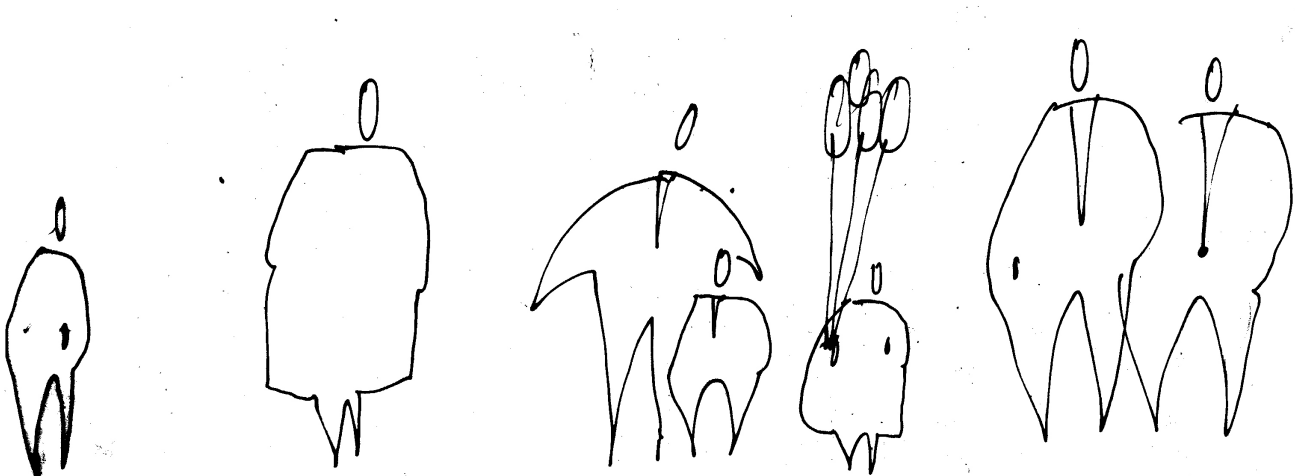
- Facilitate multiple meetings with District personnel to establish facility and equipment standards for disciplines identified

Phase 2: Completed by May 31, 2009

- Conduct an assessment of all facilities constructed prior to 2001 and identify projects that will bring identified deficiencies up to approved District standards

Phase 3: Completed by June 30, 2009

- Conduct a Governing Board workshop to update the Board and District Administration regarding the status of the CUSD Long Range Facility Audit
- Present a final report to District Leadership and CUSD Governing Board in both a written and electronic format





Project Process

The following phases of work were established to address the scope of the CUSD Long Range Facility Audit within the timeframe established by the District. The expected outcome was to deliver a 10-Year Facility Master Plan, based on professional experience, and aligned with current and future funding opportunities.

Phase 1: Meet with District Facility Leadership Team to clarify District Building Standards

- Task 1: Introduce Facility Needs Audit process to District Leadership through multiple District forums (Supt. Cabinet, Supt. Staff, Area Leadership meeting, District SART)
- Task 2: Review the following data related to the standard and condition of current facilities
- Elementary Education Specifications and Building Standards
 - District maintenance records
 - 10-year deferred maintenance program
 - 10-year District Facilities Master Plan
- Task 3: Meet with District Facility Leadership Team
- Scheduled milestones for the project
 - Clarify educational program goals and District Strategic Plan
 - Clarify the program for District Support Facilities
 - Establish sustainability goals and green practices for the project
 - Clarify equity standards and community expectations for each school
 - Establish District Building & Equipment Standards
- Task 4: Meet with site Principals and designated District staff of targeted sites:
- The facility audit process and purpose
 - Schedules and tasks
 - Site/facility self-assessment Zoomerang model
 - Clarify difference between District maintenance projects and facility audit projects

Phase 2: Comprehensive Assessment of Facilities to identify deficiencies to District Standards

- Task 1: Project Monitoring Schedule
- Establish milestone meetings to include:
 - Site kick-off meetings
 - Site self-assessment schedule
 - Site visitations
 - Summery schedule with site staff
 - Conduct "mock" facility audit of elementary, secondary and support site
 - Train consultants for consistency
 - Establish common check lists for consultant to report findings from site visits
 - Provide results of site self-assessment surveys to consultants prior to visitation of the sites
 - Create and distribute a Site-Self Assessment Tool for the Principal and the Plant Supervisors to complete prior to consultant visits to sites
 - The Principal survey focused on how the facilities on their sites are addressing the following District Aims:
 - Maximizing Student Achievement
 - Ensuring a safe and positive learning environmentPrincipals and Directors were also asked to prioritize up to three facility projects on their campus
 - The Maintenance & Operations Survey focused on how the facilities are addressing the

Project Process (cont'd)

following District Aim:

Operating with increasing efficiency and effectiveness

- Conduct facility audit to evaluate condition, and relationship to District Standards for each building
 - Consultants submit visitation schedules for site review
 - Site custodial staff and District maintenance staff available as needed to assist the audit team
- Conduct regular “milestone” meetings with consultants at the conclusion of each group of site visitations
 - Site observation checklist are submitted to Harris Construction for cost estimating, escalated to time of construction
- Consultants complete a summary report of findings, including, but not limited to, the following:
 - Itemized and detailed list of equipment condition, replacement schedule, infrastructure upgrades, modernizations/facility improvements to bring all sites into compliance with current accessibility, building codes, District educational specs, and/or standards sorted by site and by building
 - Make recommendations for future projects: 1-2 years, 3-5 years and 6-10 years
 - Project scope and schedule of work
 - Estimate costs to the date of construction for each project

Phase 3: Final Deliverable for the District Facility Assessment Projects

- Task 1: Prepare milestone meeting report for the District Board Sub Committee
- Task 2: Prepare final deliverable document for Principals, Facility & Plant Op Departments, Governing Board, and Superintendent
- Facility Master Plan sorted by site which includes replacement and repair schedules
 - Projects sorted by Energy, Deferred Maintenance, Health & Safety, and ADA
 - Prioritize projects for the next 1-2 year, 3-5 years and 6-10 years
 - Escalate cost of each project to date of construction
- Task 3: Present findings and “draft” deliverable to the Governing Board
- Schedule a Board Workshop to present findings
- Task 4: Final Deliverable
- Governing Board to receive summary report of findings, including identified projects (including cost estimates) for all sites
 - The District Facility Leadership Team to receive a detailed summary of findings, including identified projects (included cost estimates) for all sites in a written and electronic format
 - The District will have ability to adjust and manipulate the database to respond to changing conditions within the District.
 - Site Principals/directors will receive a summary report of findings and projects for their school/ District site (including cost estimates)
- Task 5: Implementation of the Long Range Facility Audit
- Update Elementary and Secondary Educational Specifications
 - Conceptual Design for projects based on educational specifications
 - Create an implementation schedule for identified projects



Project Recommendations

District Administrators, Principals, and Directors were provided an opportunity to identify projects they believed would enhance the efficiency and effectiveness of the District Mission “to be a quality educational system, providing the opportunity for all students to reach their potential in mind, body and spirit.” A wide variety of projects were suggested by the District. Individual projects were evaluated by our team of consultants, based on the following criteria, to determine their feasibility and practicality for the District:

- Alignment to the approved District building standards and educational specifications
- Alignment to the current educational program need(s) requested with the project
- Feasibility of cost to the District (based on our opinion) and space availability on the site

Cost estimations were only done on projects that our consultants felt aligned to the components of our “decision-making” criteria. Only projects that were determined to be feasible and practical were included in the site narratives.

Cost Estimation

Potential project costs were estimated according to the cost index at the time of construction. An inflation calculator was incorporated into the detailed Excel spreadsheets for each site. Costs were estimated using a baseline average for equipment, materials & labor, and should be considered “estimates”. An additional 25% was added to each project that includes the “fees” for testing, inspection, and architectural/engineering. These costs (are in addition to the project construction costs) will need to be considered when the District chooses to schedule the project.



Final Deliverables

Results were presented to the District in various formats depending on the needs of the end user. Below is a summary of the contents for these reports.

District Staff

Governing Board and District Superintendent

Office of Facility Services

Office of Maintenance and Operations

Site Principals

CUSD Facility Audit Report

District overview, including a Power Point presentation

District summary, summary of all schools and support facilities (including supporting detailed spreadsheets and consultant checklists)

School Site Summary Report





The Implementation of a 10-Year Facility Needs Master Plan

The CUSD Facility Needs Audit will provide the District access to a significant amount of data, information, and recommendations regarding the condition of District facilities constructed prior to 2001 (and the technology infrastructure for all facilities). The primary goal of the CUSD Facility Needs Assessment was to develop a long range plan to bring all District school facilities, and support facilities, up to current approved District building and equipment standards. How the District chooses to use this data, information and recommendations to guide their decision making process, will be critical to the success of this effort.

It is our recommended that the District consider the CUSD Facility Audit within the context of a long range (10-year) Facility Master Plan. A 10-Year Facility Master Plan should be flexible and adaptable to changing conditions within the District and community. We feel that it will be essential to base decisions on a well crafted set of Elementary and Secondary Educational Specifications.

Another critical factor to be considered by the District will be the availability of state and local funding. It is our recommendation that an open dialogue begin immediately with the community to illustrate the need to upgrade current facilities well in advance of a formal campaign for a bond measure.

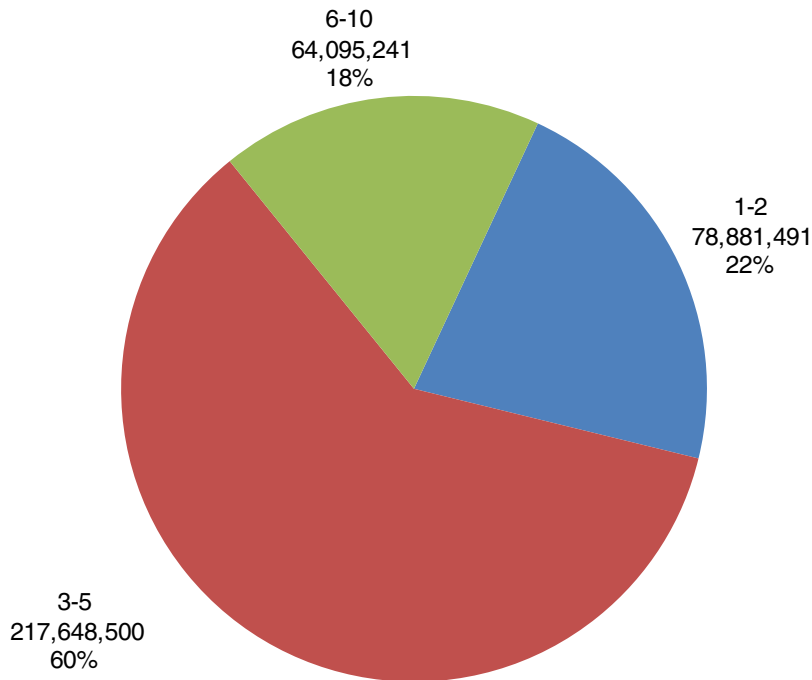
Important components that we recommend the District to consider, is to fully implement the results of the Long Range Facility Audit, are the following:

1. A thorough review and update of the District's current Elementary and Secondary educational specifications and building standards to insure alignment to curriculum and instructional methodologies to appropriate space relationships requirements.
2. Development of a conceptual design master plan, based on the educational specifications, for each building modernization, addition and expansion. These conceptual diagrams should identify the size, configuration and location of new facilities and reconfiguration of existing facilities.
3. Review current funding sources and begin to develop strategies for a future bond campaign. Evaluate the potential community tolerance for future bond initiatives for CUSD.
4. Strategically create a project implementation schedule for future projects identified in the 10-Year Facility Needs Assessment Master Plan. This schedule must be based on maximizing current and potential funding sources.



District-Wide Project Data

District Summary

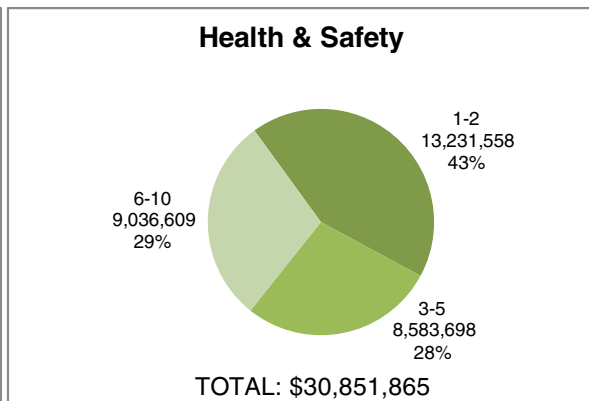
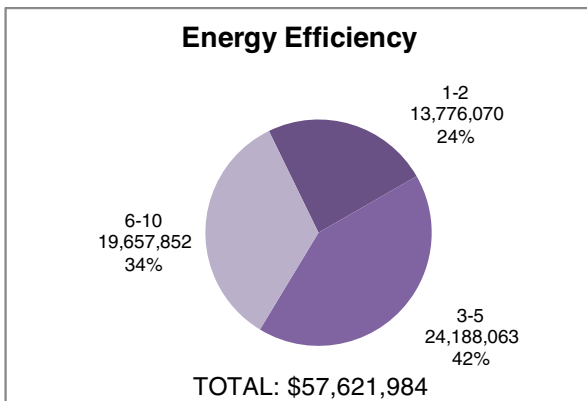
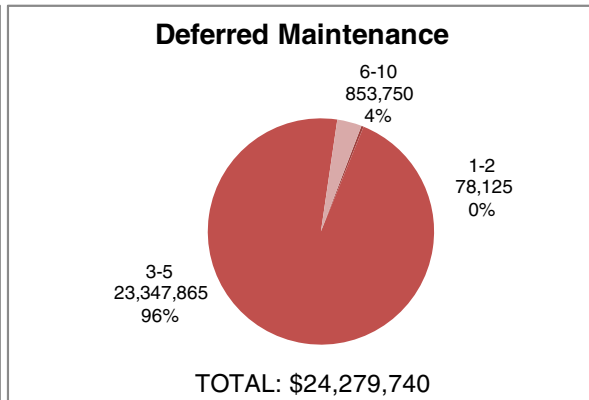
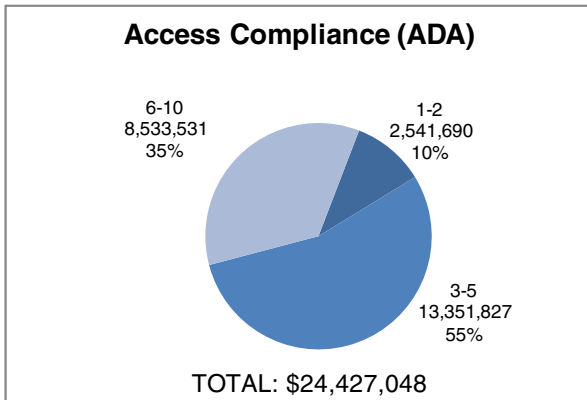
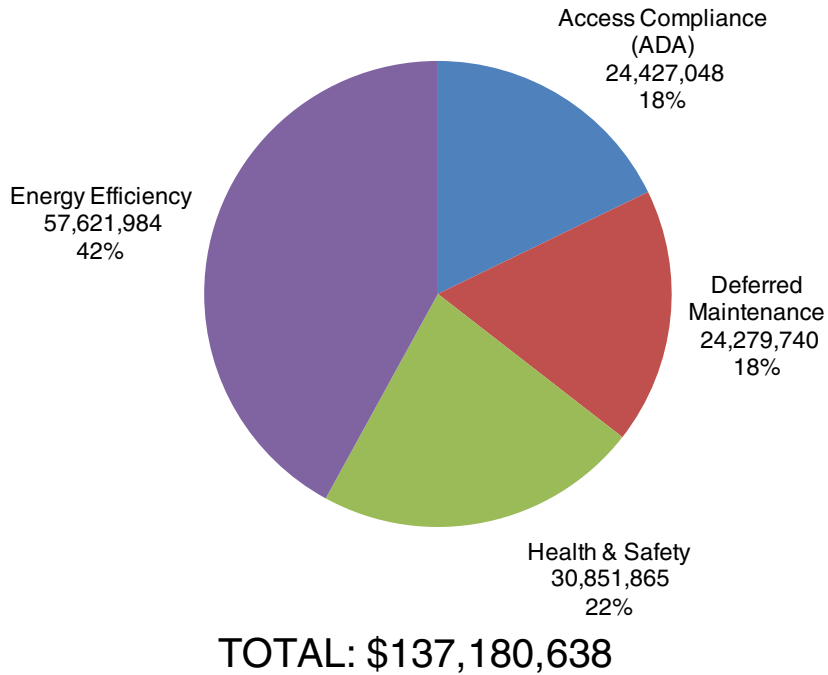


Total District Needs Assessment

Summary by Area	Total
Group 1 - David E. Cook Center	50,304,840
Group 2 - Buchanan Area	77,683,445
Group 3 - Clovis North Area	17,534,207
Group 4 - Clovis Area	91,537,174
Group 5 - Clovis West Area	74,897,993
Group 6 - Clovis East Area	48,667,574
Total	\$ 360,625,232

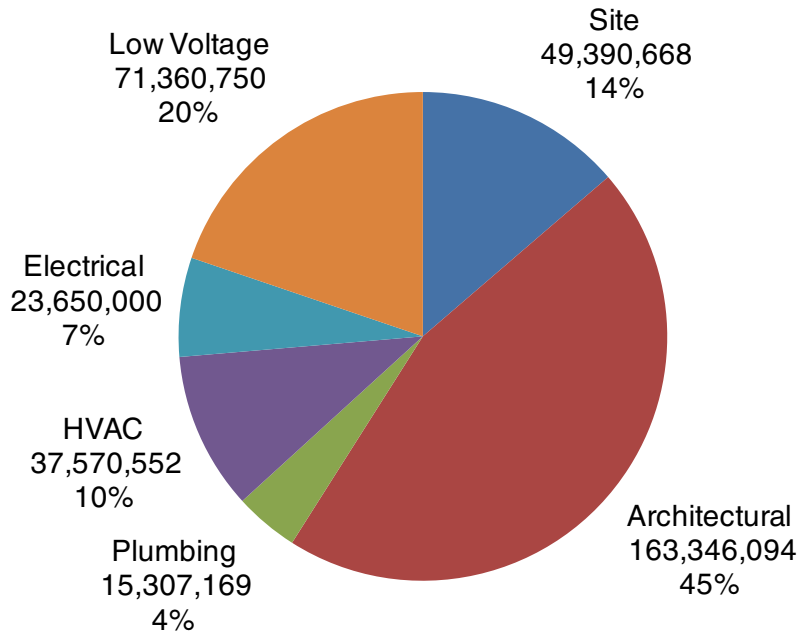


Breakdown by Project Category





Total by Discipline



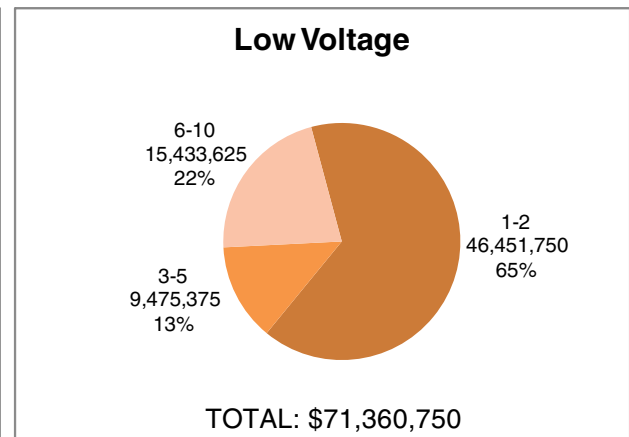
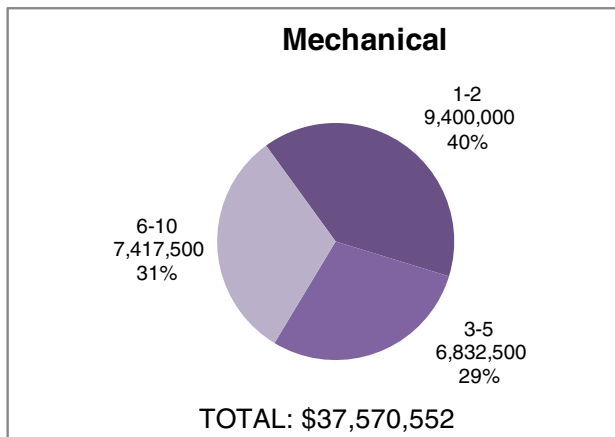
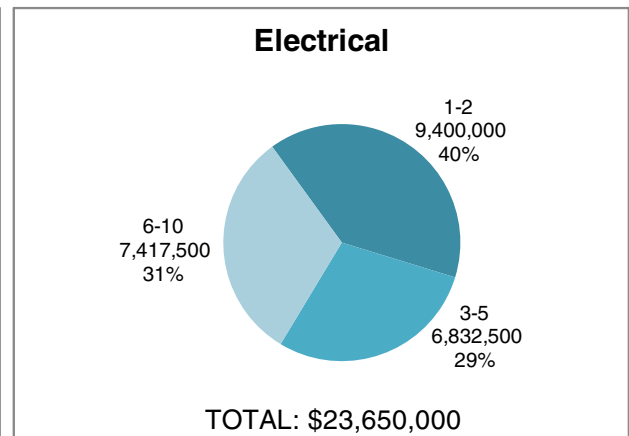
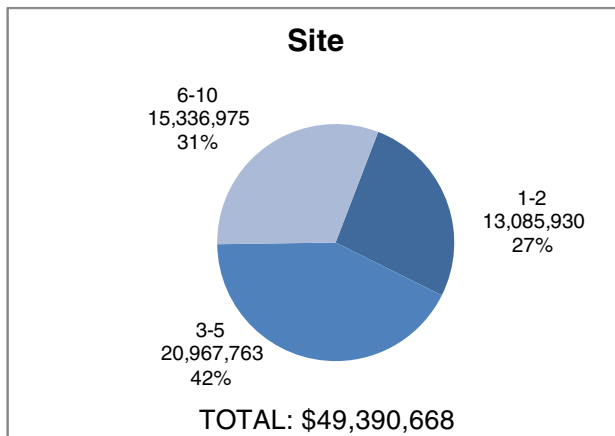
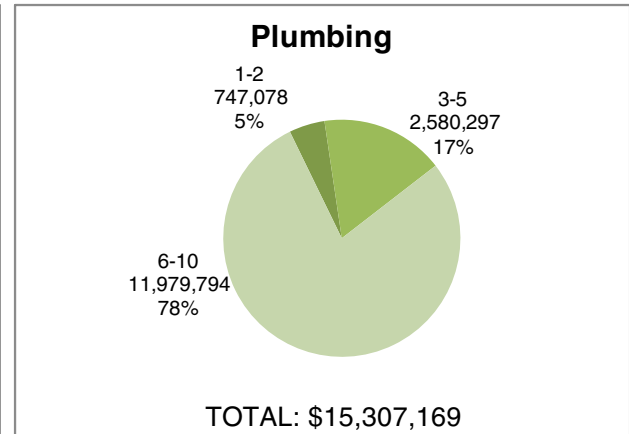
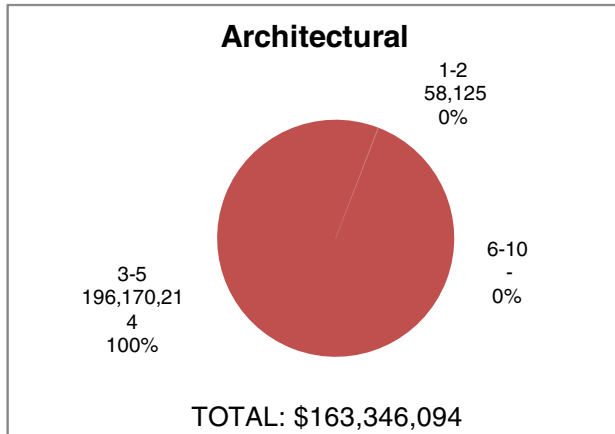
TOTAL: \$360,625,232

Total District-Wide Needs Assessment

Summary by Discipline	1-2	3-5	6-10	TOTAL BY PROJECT CATEGORY
Site	13,085,930	20,967,763	15,336,975	49,390,668
Architectural	58,125	163,287,969	-	163,346,094
Plumbing	747,078	2,580,297	11,979,794	15,307,169
HVAC	9,138,608	14,504,597	13,927,347	37,570,552
Electrical	9,400,000	6,832,500	7,417,500	23,650,000
Low Voltage	46,451,750	9,475,375	15,433,625	71,360,750
Total	\$ 78,881,491	\$ 217,648,500	\$ 64,095,241	\$ 360,625,232

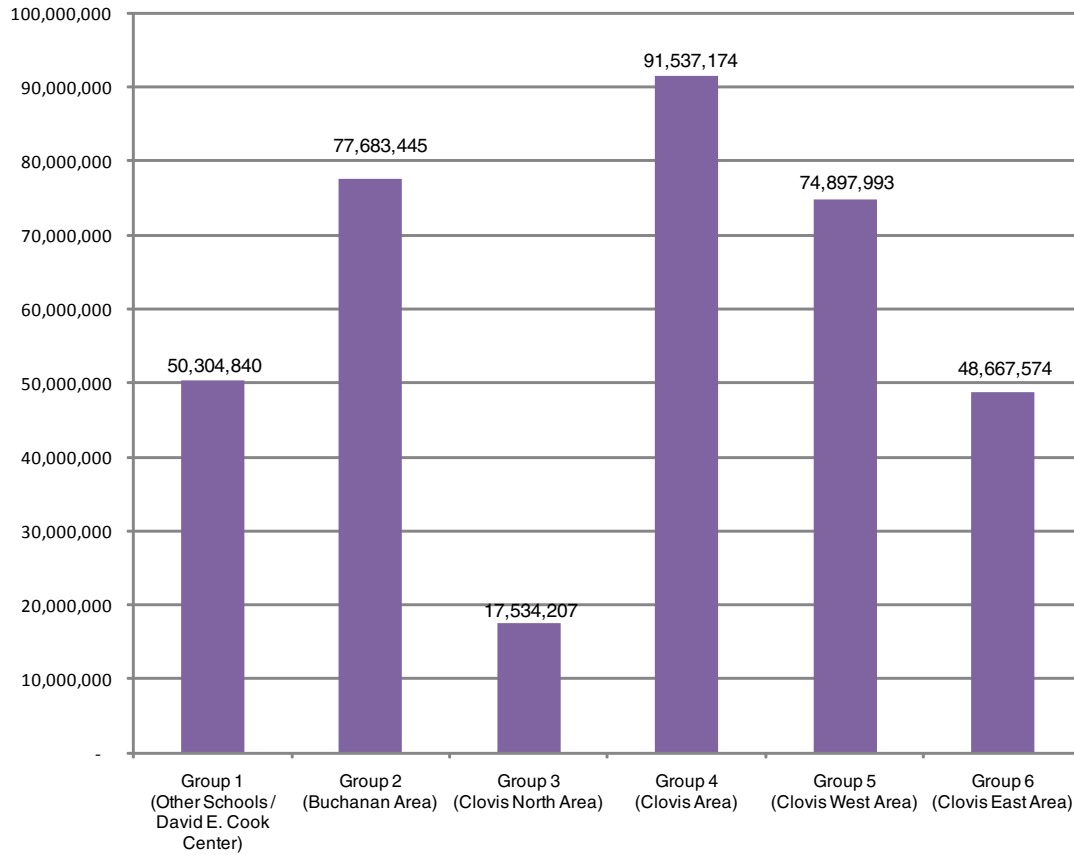


Breakdown by Discipline

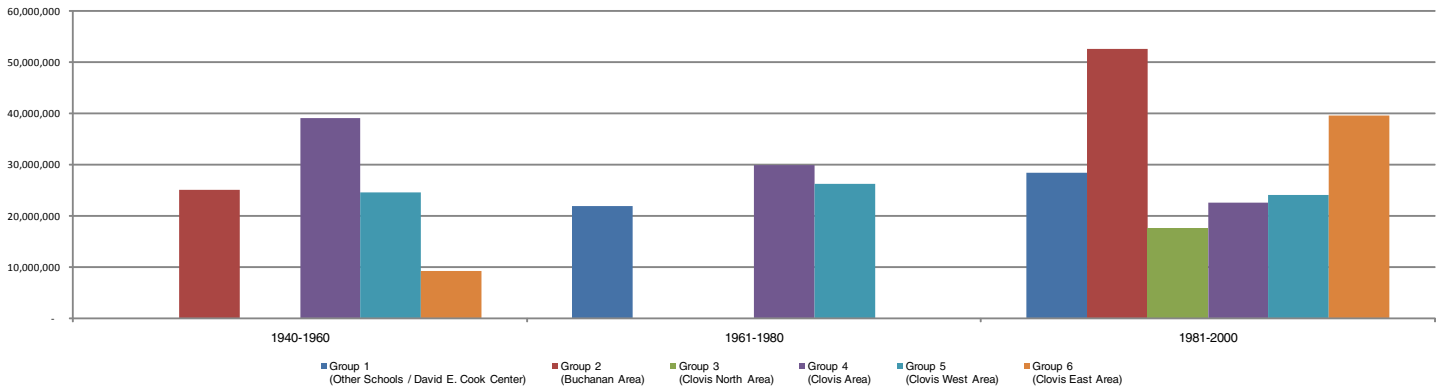




Total by High School Attendance Area



Summary by Year of Construction





District Wide Summary

School	1-2	3-5	6-10	TOTALS
Alta Sierra Intermediate School	2,496,910	5,216,060	2,096,841	9,809,811
Buchanan High School	2,186,412	21,113,939	6,053,820	29,354,171
Bud Rank Elementary School	110,000	0	263,125	373,125
Cedarwood Elementary School	1,436,885	2,494,889	600,128	4,531,902
Center for Advanced Research and Technology	1,196,649	223,846	3,290,386	4,710,881
Century Elementary School	1,417,335	2,656,039	1,667,101	5,740,475
Clark Intermediate School	2,474,515	11,935,481	3,538,113	17,948,109
Clovis Adult School	932,248	1,147,288	771,922	2,851,457
Clovis East High School	2,314,387	7,211,415	3,167,906	12,693,708
Clovis Elementary School	1,100,364	1,428,374	1,369,444	3,898,181
Clovis High School	2,410,497	15,979,777	6,308,134	24,698,408
Clovis North Educational Complex	16,250	0	0	16,250
Clovis West High School	3,061,024	8,037,810	3,922,954	15,021,788
Cole Elementary School	2,028,375	6,622,411	618,425	9,269,211
Community Day School	993,923	92,800	324,500	1,411,223
Copper Hills Elementary School	1,129,439	3,332,618	866,839	5,328,896
David E. Cook Center	4,113,934	10,129,830	2,608,958	16,852,721
Dry Creek Elementary School	2,934,689	3,401,961	861,266	7,197,916
Fancher Creek Elementary School	2,719,828	3,640,398	505,943	6,866,169
Fort Washington Elementary School	1,384,638	2,223,079	817,482	4,425,198
Freedom Elementary School	928,750	238,125	786,250	1,953,125
Fugman Elementary School	457,500	168,750	1,521,875	2,148,125
Garfield Elementary School	1,732,454	3,540,405	1,246,270	6,519,130
Gateway/Enterprise Alternative Education	568,218	3,035,519	1,460,165	5,063,902
Gettysburg Elementary School	2,631,511	5,551,824	982,827	9,166,161
Jefferson Elementary School	2,230,678	3,693,616	637,967	6,562,261
Kastner Intermediate School	1,828,375	7,082,309	2,336,927	11,247,611
Liberty Elementary School	2,189,887	4,008,284	337,368	6,535,539
Lincoln Elementary School	1,972,780	2,832,691	969,173	5,774,643
Maple Creek Elementary School	1,166,640	3,864,558	1,131,446	6,162,644
Mickey Cox Elementary School	1,444,861	3,077,500	725,055	5,247,416
Miramonte Elementary School	1,473,484	4,932,677	1,105,791	7,511,951
Mountain View Elementary School	2,203,822	4,700,859	624,754	7,529,436
Nelson Elementary School	2,330,241	2,987,061	517,735	5,835,037
Pinedale Elementary School	1,601,134	11,778,223	973,842	14,353,199
Reagan Elementary School	72,500	0	291,875	364,375
Red Bank Elementary School	1,999,173	2,079,408	888,234	4,966,814
Reyburn Intermediate School	1,609,284	5,748,866	2,748,988	10,107,138
Riverview Elementary School	864,000	298,125	976,250	2,138,375



District Wide Summary

School	1-2	3-5	6-10	TOTALS
Sierra Outdoor School	802,875	18,460,531	151,250	19,414,656
Sierra Vista Elementary School	2,254,104	5,064,534	544,542	7,863,179
Tarpey Elementary School	2,216,081	5,631,262	790,013	8,637,355
Temperance-Kutner Elementary School	2,858,873	5,295,594	1,016,641	9,171,108
Valley Oak Elementary School	2,597,333	2,702,636	242,364	5,542,333
Weldon Elementary School	2,337,383	3,930,881	386,479	6,654,743
Woods Elementary School	51,250	56,250	1,047,875	1,155,375
Total:	\$ 78,881,491	\$ 217,648,500	\$ 64,095,241	\$ 360,625,232



Site Requested Project List

(as submitted by site Principals)

Group 1: Other Schools/David E. Cook Center

Clovis Adult School

- None

Center for Advanced Research and Technology

- HVAC system needs to be analyzed and repaired to assure a comfortable temperature for student learning. Some rooms exceed 85 degrees on a regular basis
- Replace locks on classroom doors to give teachers capability to lock from inside in the event of threat
- Repair/replace outside security cameras

Gateway/Enterprise Alternative Education

- None

Sierra Outdoor School

- Upper classroom building modernization
- Lower classroom building modernization
- New Gymnasium
- Irrigation to ball field
- Bus loading and unloading area
- Maintenance and Transportation Building
- Amphitheater stage

Maintenance and Transportation Building

- Additional office space in the maintenance/transportation building
- Install restroom upstairs in work control area
- Push fence in north parking lot towards Herndon: redevelop parking lot
- Additional T-shed in outside storage area

District Office West

- Landscape face-lift

District Office East

- None

Grounds Building

- Additional grounds building north of the existing grounds building: bays for storage
- Move mechanics shop to new building
- Add concrete and landscaping between Professional Development Building and warehouse

Security and Attendance Building

- None

Warehouse and Graphic Arts Building

- None

District Services Building

- None

Construction Services Building

- None



Group 2: Buchanan Area

Century Elementary School

- Rain gutters added to buildings
- Fix drainage problems around school
- Gates on Kindergarten parking lot to prevent people from driving on campus during off hours
- Review of main parking lot and bus loading zone
- Upgrade planter areas

Cole Elementary School

- Technology Infrastructure
- New Multipurpose Room/Cafeteria/Teacher Lounge
- New Administrative office, reception and office staff area

Dry Creek Elementary School

- Construction of a new academic building to house all 4-6 grade classes, music, and special education
- Landscape upgrade

Garfield Elementary School

- A new addition to our library
- Landscaping and concrete areas need to be renovated
- Remodeling of the front office
- Kindergarten storage upgrade

Tarpey Elementary School

- Main office expansion/upgrade
- Landscape upgrade

Woods Elementary School

- None

Alta Sierra Intermediate School

- Library demo kiosk
- Phone systems tech infrastructure
- Landscaping: hills planter flatten mounds

Buchanan High School

- Heating and cooling system needs to be fixed
- Need a new counseling center
- Need a new bathroom facility at the pool

Group 3: Clovis North Area

Bud Rank Elementary School

- None

Copper Hills Elementary School

- Extend student drop off zone

Fugman Elementary School

- None

Mountain View Elementary School

- HVAC upgrade

Riverview Elementary School

- None

Granite Ridge Intermediate School

- None

Clovis North High School

- None



Site Requested Project List (cont'd)

(as submitted by site Principals)

Group 4: Clovis Area

Cedarwood Elementary School

- Add dry wells on #2 and #3 baseball fields (very poor drainage)

Clovis Elementary School

- Have bollards placed throughout the campus so people would not drive on the campus
- Have more signage and red painted curbs for entire frontage road that goes through the campus
- Area, lighting, and sound
- Multipurpose Room window coverings

Mickey Cox Elementary School

- Lighting: improved in kindergarten classrooms, cafeteria and amphitheatre areas
- Air condition corrections: students get irritable and act out when the temperature gets too high in the classrooms and library

Gettysburg Elementary School

- We would love to have a new snack bar, like newer schools have, out by our ball fields. This would also allow us some much needed storage space

Jefferson Elementary School

- Public address/bell system
- Air conditioning both chiller and boiler need to be replaced
- Cameras need to be repaired to work correctly

Red Bank Elementary School

- HVAC
- Teacher workroom expansion
- Access to greater technology in the classroom (projector, wireless, etc.)

Sierra Vista Elementary School

- Library expansion
- Moderization of Multipurpose Room
- AC/Heating system replaced
- Cement upgrade and repair

Weldon Elementary School

- Concrete project in front of A wing and blacktop
- Classroom technology renovation (electrical access, ceiling mounts for LCD, pull down screens)
- Multipurpose Room/Kitchen renovation

Clark Intermediate School

- New gym floor (scheduled: added athletic facilities, field space: Rodeo Grounds)
- Technology that would allow classrooms to have video capabilities
- Amphitheater landscape upgrade
- Room for stagecraft and storage for the MET
- Landscaping, irrigation, and playfield improvements

Clovis High School

- The lockers in the girls locker room need to be replaced from 1969 to provide larger lockers for students to store their backpacks in during PE class to prevent thefts including enough lockers for each student
- Modernization of facilities to have all classrooms have LCD mounts and wiring in the ceiling, computers labs, field houses, band and folklorico practice rooms, etc.



Group 5: Clovis West Area

Fort Washington Elementary School

- None

Liberty Elementary School

- Renovate the main office/library
- Get a new AC/Heating system
- Additional areas for teacher collaboration and storage

Lincoln Elementary School

- New restrooms adjacent to the playground.
Currently the only restrooms close by are in the snack bar area and face away from supervision
- Walkway-cement work: cement curbs for flower beds, cement work for raised planter boxes
- Regrading grass: drainage issues

Maple Creek Elementary School

- Air conditioning and heating unit replaced
- Fire alarm system-heat sensors
- Traffic calming devices and speed bumps in parking lot

Nelson Elementary School

- Multipurpose Room modernizing
- HVAC upgrades
- Updating of paint/landscaping
- Technology infrastructure

Pinedale Elementary School

- Multipurpose Room modernizing
- Library Media Center
- Classroom space and design to meet the vision of our schools
- Improvement in technology in the buildings so that it supports our vision, and improvement in the cooling and heating systems
- Remodel Classroom

Valley Oak Elementary School

- Window replacement

Kastner Intermediate School

- Need upgrade technology labs
- Locker room lockers sorely need to be replaced
- Chiller and air handler in Multipurpose Room/ Bandroom always down
- Replace gym bleachers as wood bleachers are a safety hazard
- Need to retrofit the woodshop with safer equipment
- Replace gymnasium bleachers

Clovis West High School

- Camera Installation
- More fob systems for doors so access into A building by staff does not require the need to leave the doors unlocked
- Completion of appropriate counseling center



Site Requested Project List (cont'd)

(as submitted by site Principals)

Group 6: Clovis East Area

Fancher Creek Elementary School

- A new addition to our library
- Landscaping and concrete areas need to be renovated
- Remodeling of the front office

Freedom Elementary School

- None

Miramonte Elementary School

- Landscape upgrade
- Modernize main office

Reagan Elementary School

- None

Temperance-Kutner Elementary School

- Build a main office
- A new AC/Heating system
- security alarm system for entire school
- Technology infrastructure

Reyburn Intermediate School

- HVAC upgrades
- Bell/alarm sensors
- Water main cracks

Clovis East High School

- Athletic office modernization
- New restrooms for baseball stadium



Site Areas

Group 1: Other Schools/David E. Cook Center

- Clovis Adult School
- Center for Advanced Research and Technology
- Gateway/Enterprise Alternative Education
- Community Day School
- Sierra Outdoor School
- Maintenance and Transportation Building
- District Office West
- District Office East
- Grounds Building
- Security and Attendance Building
- Warehouse and Graphic Arts Building
- District Services Building
- Construction Services Building
- Professional Development Building

Group 2: Buchanan Area

- Century Elementary School
- Cole Elementary School
- Dry Creek Elementary School
- Garfield Elementary School
- Tarpey Elementary School
- Woods Elementary School
- Alta Sierra Intermediate School
- Buchanan High School

Group 3: Clovis North Area

- Bud Rank Elementary School
- Copper Hills Elementary School
- Fugman Elementary School
- Mountain View Elementary School
- Riverview Elementary School
- Clovis North Educational Center

Group 4: Clovis Area

- Cedarwood Elementary School
- Clovis Elementary School
- Mickey Cox Elementary School
- Gettysburg Elementary School
- Jefferson Elementary School
- Red Bank Elementary School
- Sierra Vista Elementary School
- Weldon Elementary School
- Clark Intermediate School
- Clovis High School

Group 5: Clovis West Area

- Fort Washington Elementary School
- Liberty Elementary School
- Lincoln Elementary School
- Maple Creek Elementary School
- Nelson Elementary School
- Pinedale Elementary School
- Valley Oak Elementary School
- Kastner Intermediate School
- Clovis West High School

Group 6: Clovis East Area

- Fancher Creek Elementary School
- Freedom Elementary School
- Miramonte Elementary School
- Reagan Elementary School
- Temperance-Kutner Elementary School
- Reyburn Intermediate School
- Clovis East High School

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Clovis Unified School District • August 2009



Clovis Adult School



ADULT SCHOOL
G1-01
OTHER SCHOOLS

Clovis Adult School

1452 David E. Cook Way, Clovis, CA 93611 • t. 559-327-2800, f. 559-327-2889



General Information

Grade Level Configuration:	9-12
Enrollment Capacity:	1,200
Site Acreage:	3.9
Total Plan Square Footage:	48,480

Overview: The Clovis Adult School was opened at its current location in 1995. CAS serves a variety of student populations in the Fresno/Clovis Area, included, but not limited to, pre-school, special education and adult education students. The CAS campus is comprised of portable buildings, located on the David E. Cook Educational Center. In addition, CAS offers courses for students on satellite locations in the District. The CAS campus is comprised of an administration building, student lounge, restrooms, six computer labs, 39 classrooms, and storage space. Operated as a year-round, fee-based program, the Clovis Adult School has an enrollment capacity of 1,200 students on site and is currently operating at capacity.



Year Built/Renovated/Modernized

Based on available drawings and discussions with District maintenance personnel, we obtained the following information regarding year constructed and Division of the State Architect (DSA) approval for campus construction projects.

Opened: 1995
Architect: Darden

Building/Rooms:	DSA Application Number:	Approval Date:	<u>MODERNIZATION ELIGIBILITY</u>	
			25 Years + 12 Months:	50 Years + 12 Months:
N/A	N/A			

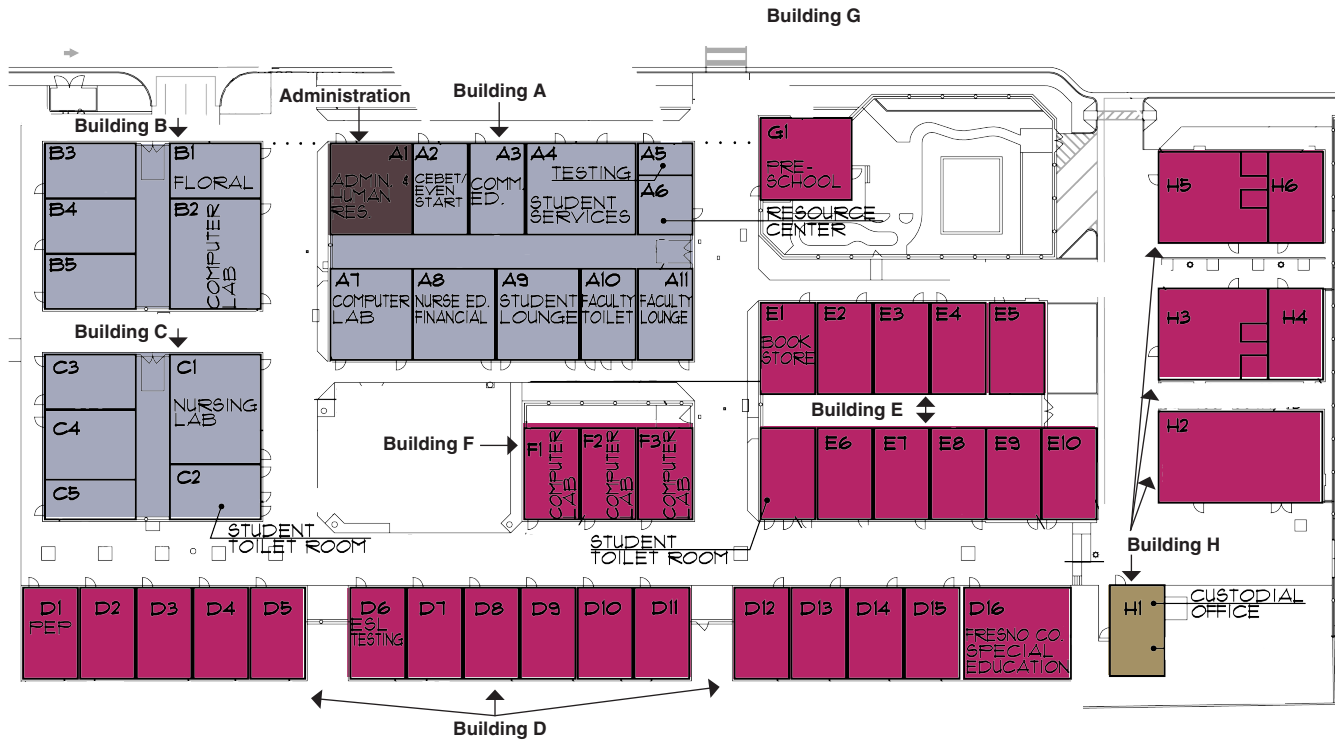
Site Plan Legend

-  Classroom Building
-  Kindergarten
-  Multipurpose Room
-  Snack Bar
-  Administration
-  Library/Media Center
-  Locker Room
-  Wrestling/Weights
-  Restroom
-  Gymnasium
-  Shop Building
-  Maintenance
-  Cluster Office
-  Storage Building
-  Concert Hall
-  Portables
-  Field House
-  Pool Office
-  Portables
-  Portables
-  Large Gym
-  Small Gym





Site Plan



Civil Engineering

ADA Compliance

Observation: The concrete and asphalt concrete condition is good. The accessible stall signage and striping require minor changes. Some of the accessible stalls do not have an ADA compliant path of travel. ADA detectable warning surface is required in multiple locations.

Recommendation: Add concrete improvements to meet ADA compliant path of travel requirements. • Add accessible stall signage and striping as required. • Add ADA detectable warning surface at multiple locations.

Site Drainage

Observation: The storm drain system is in good working condition.

Recommendation: No work recommended.

Transportation Facilities

Observation: There are 332 standard parking stalls. There are 12 accessible parking stalls. Bus loading zone length complies with District Standards. There is no parent drop-off zone. There are no bicycle racks.

Recommendation: No additional accessible stalls are required to meet ADA requirements. • Add bicycle racks as required by facility use.

Athletic Facilities

Observation: Not applicable.

Recommendation: Not applicable.

Landscape

Observation: There are a few locations of bare planters. There are a few locations of bare turf. Weed control is good.

Recommendation: Add shrubs, ground cover, and trees to bare planters. • Replace turf in bare areas. • Eradicate weeds as required.

Irrigation System

Observation: The irrigation system is 15 years old and is in good working condition. Minor irrigation repairs are required in various planter areas.

Recommendation: Repair irrigation in various planter areas as required.

Architectural

Portable Buildings A - F

Observations: The buildings functions for their intended use and adequately provide for a quality space.

Recommendations: Refer to cost sheet for minor recommendations.



Plumbing Engineering

Portable Building A

Observations: Some fixtures do not meet the district standard. All fixtures do not meet ADA. Most fixtures are in fair condition.

Recommendations: No modernization is required before 1-2 years. • ADA retrofit is suggested.

Portable Building B

Observations: Most fixtures meet the district standard. Most fixtures do not meet ADA. Most fixtures are in fair condition.

Recommendations: No modernization is required before 1-2 years. • ADA retrofit is suggested.

Portable Building C

Observations: All fixtures meet the district standard. Most fixtures meet ADA. Most fixtures are in fair condition.

Recommendations: No modernization is required before 3-5 years. • ADA retrofit is suggested.

Portable Building D

Observations: All fixtures meet the district standard. Most fixtures meet ADA. Most fixtures are in fair condition.

Recommendations: No modernization is required before 3-5 years. • ADA retrofit is suggested.

Portable Building E

Observations: All fixtures meet the district standard. Most fixtures meet ADA. Most fixtures are in fair condition.

Recommendations: No modernization is required before 3-5 years. • ADA retrofit is suggested.

Portable Building F

Observations: There are no plumbing fixtures.

Portable Building G

Observations: All fixtures meet the district standard. Most fixtures do not meet ADA. Most fixtures are in poor condition.

Recommendations: No modernization is required before 1-2 years. • ADA retrofit is suggested.

Portable Building H

Observations: All fixtures meet the district standard. Most fixtures meet ADA. Most fixtures are in good condition.

Recommendations: No modernization is required before 6-10 years. • ADA retrofit is suggested.

HVAC

Portable Building A

Observations: All units do not meet the district standard. The EMS is not full DDC.

Recommendations: This building is not energy efficient. • No modernization is required before 6-10 years. • Replace or refurbish units at modernization. • Add full DDC EMS and replace units with high efficiency units for increased energy efficiency.

Portable Building B

Observations: All units do not meet the district standard. The EMS is not full DDC.

Recommendations: This building is not energy efficient. • No modernization is required before 6-10 years. • Replace or refurbish units at modernization. • Add full DDC EMS and replace units with high efficiency units for increased energy efficiency.

Portable Building C

Observations: Most units do not meet the district standard. The EMS is not full DDC.

Recommendations: This building is not energy efficient. • No modernization is required before 6-10 years. • Replace or refurbish units at modernization. • Add full DDC EMS and replace low efficiency units with high efficiency units for increased energy efficiency.

Portable Building D

Observations: Most units do not meet the district standard. The EMS is not full DDC.

Recommendations: This building is not energy efficient. • No modernization is required before 6-10 years. • Replace or refurbish units at modernization. • Add full DDC EMS and replace low efficiency units with high efficiency units for increased energy efficiency.

Portable Building E

Observations: All units do not meet the district standard. The EMS is not full DDC.

Recommendations: This building is not energy efficient. • No modernization is required before 6-10 years. • Replace or refurbish units at modernization. • Add full DDC EMS and replace units with high efficiency units for increased energy efficiency.

Portable Building F

Observations: All units do not meet the district standard. The EMS is not full DDC.

Recommendations: This building is not energy efficient. • No modernization is required before 6-10 years. • Replace or refurbish units at modernization. • Add full DDC EMS and replace units with high efficiency units for increased energy efficiency.

Portable Building G

Observations: All units do not meet the district standard. The EMS is not full DDC.

Recommendations: This building is not energy efficient. • No modernization is required before 6-10 years. • Replace or refurbish units at modernization. • Add full DDC EMS and replace units with high efficiency units for increased energy efficiency.



HVAC (cont'd)

Portable Building H

Observations: All units do not meet the district standard. The EMS is not full DDC. Several new low efficiency units were observed.

Recommendations: This building is not energy efficient. • No modernization is required before 6-10 years. • Replace or refurbish units at modernization. • Replace defective units with high efficiency units. • Add full DDC EMS and replace units with high efficiency units for increased energy efficiency.

Electrical Engineering

Site Electrical Distribution System

Observation: The Clovis Adult School site electrical distribution system is in fair condition and meets District standards.

Recommendation: No work recommended.

Site Electrical Lighting System

Observation: Parking lot lighting and exterior pathway lighting provides adequate coverage. Light fixtures are in fair condition and meet District standards.

Recommendation: Recommend adding and/or replacing lighting in few areas. • The Clovis Adult School is in need of surveillance lighting controls to provide adequate lighting coverage for the surveillance camera system.

Electrical Distribution System

Observation: The electrical distribution system for the Clovis Adult School is in good condition.

Recommendation: No work recommended.

Electrical Lighting System

Observation: The electrical lighting system is in fair condition with adequate lighting coverage.

Recommendation: No work recommended.

Site Theatrical Lighting System

Observation: Clovis Adult School does not have or require a theatrical lighting system.

Recommendation: No work recommended.

Site Sound Reinforcement System

Observation: Clovis Adult School does not have a sound reinforcement system.

Recommendation: No work recommended.

Low Voltage

Site Fire Alarm System

Observation: The overall Fire Alarm system is in poor condition and is not compliant with current electrical codes and District standards. Approximately 75% of devices and wiring are in poor condition. The control panel is fairly new and in good condition but the door does not close properly.

Recommendation: Replace about 75% of devices and wiring. • Replace control panel enclosure.

Site Telephone System

Observation: The Clovis Adult School telephone system is part of a shared telephone system. The PBX is located in the District Office West building. The system is in fair condition but does not meet current District standards.

Recommendation: Replace telephone system, cabling, and handsets.



Low Voltage (cont'd)

Site Clock System

Observation: The current clock system at Clovis Adult School does not meet district standards.

Recommendation: Replace clock system and devices.

CATV System

Observation: Clovis Adult School does not have a District standard CATV system.

Recommendation: Install CATV cabling and electronics.

Site Public Address System

Observation: The Clovis Adult School public address system is in good condition but does not completely meet district standards. Loudspeaker coverage is inadequate in some external areas. Public address cabling is not compliant with current industry standards and electrical codes.

Recommendation: Replace site system cabling. • Install additional loudspeakers for external coverage.

Site Camera Surveillance System

Observation: The camera surveillance system is in fair condition and has adequate coverage. The current system does not entirely meet the District standard.

Recommendation: Replace existing system electronics and cabling.

Site Audio Visual System

Observation: There are (55) locations at the Clovis Adult School that do not have an audio visual system or do not meet District standards.

Recommendation: Install new complete audio visual system for each location.

Data System

Observation: The current data system does not meet District standards. The data system spaces do not provide adequate room and cooling. Network cabling does not have the capabilities to run high speed networks as required by District standards. The data system spaces do not have the required UPS for power backup.

Recommendation: Replace network cabling. • The data system requires a new dedicated room with a separate cooling system. • Requires a new UPS for each data system space to meet District standards. • Approximately (6) remote data system spaces or environmental pedestals are required for this site to contain data system electronics and terminations.



Summary by Discipline and Priority

Clovis Adult School		1-2	3-5	6-10	TOTALS
Site		26,548	45,250	0	71,798
Architectural		0	279,655	0	279,655
Plumbing		21,250	127,925	48,713	197,888
HVAC		0	0	417,025	417,025
Electrical		0	272,000	74,000	346,000
Low Voltage		698,000	193,000	77,800	968,800
	Subtotals: \$	745,798	\$ 917,830	\$ 617,538	\$ 2,281,166
Contingency	5%	37,290	45,892	30,877	114,058
Haz Mat Abatement	5%	37,290	45,892	30,877	114,058
A/E Fees	10%	74,580	91,783	61,754	228,117
Testing and Inspections	5%	37,290	45,892	30,877	114,058
	Total: \$	932,248	\$ 1,147,288	\$ 771,922	\$ 2,851,457

An additional 25% was added to each project that includes the “fees” for testing, inspection, and architectural/engineering. These costs (are in addition to the project construction costs) will need to be considered when the District chooses to schedule the project.



Projects by Discipline and Sub-Categories

Clovis Adult School	TOTALS
Site	
Asphalt and Play Court Renovations	1,100
Site Concrete, Ramps, Stairs, and ADA Improvements	17,691
Site Drainage Improvements	8,938
Landscaping, Irrigation, and Play Field Improvements	56,563
Transportation and Parking Lot Improvements	3,956
Fencing and Gates Upgrades	1,500
Architectural	
ADA Required upgrades	49,800
Repair and/or replace interior ceilings	33,750
Repair and/or Replace casework	15,863
Repair and/or replace floors and floor coverings	250,156
Plumbing	
Classroom Plumbing Replacement	101,422
Toilet Room Plumbing Replacement.	145,938
HVAC	
HVAC/Chiller Upgrade and/or Replacement	521,281
Electrical	
Exterior Lighting Efficiency Improvements	82,500
Exterior Power Distribution Energy Improvements	157,500
Building Power Distribution Energy Improvements	82,500
Building Lighting Efficiency Improvements	110,000
Low Voltage	
Fire Alarm/Life Safety	156,250
Technology System Improvements	1,038,500
Exterior Lighting Efficiency Improvements	16,250
Total	\$ 2,851,457



Summary by Location, Priority and Special Categories

Clovis Adult School	1-2	3-5	6-10	H&S	DFM	ADA	EE
Site							
Exterior Lighting Efficiency Improvements	16,250	0	0	•			•
Landscaping, Irrigation, and Play Field Improvements	0	56,563	0				
Transportation and Parking Lot Improvements	3,956	0	0			•	
Fire Alarm/Life Safety	0	156,250	0	•			
Exterior Power Distribution Energy Improvements	0	157,500	0				
Site Concrete, Ramps, Stairs, and ADA Improvements	17,691	0	0			•	
Fencing and Gates Upgrades	1,500	0	0				
Site Drainage Improvements	8,938	0	0				
Exterior Lighting Efficiency Improvements	0	82,500	0	•			•
Technology System Improvements	265,000	85,000	72,500	•			
Asphalt and Play Court Renovations	1,100	0	0				
Subtotals	\$ 314,435	\$ 537,813	\$ 72,500				
Bldg A							
Classroom Plumbing Replacement	2,250	14,563	0			•	•
Repair and/or replace floors and floor coverings	0	118,750	0				
Building Power Distribution Energy Improvements	0	0	15,000				•
Technology System Improvements	112,000	0	0	•			
Building Lighting Efficiency Improvements	0	20,000	0	•			•
ADA Required upgrades	0	11,425	0				
Toilet Room Plumbing Replacement.	4,422	0	0			•	•
Subtotals	\$ 118,672	\$ 164,738	\$ 15,000				
Bldg B							
ADA Required upgrades	0	3,713	0				
Classroom Plumbing Replacement	11,203	8,000	4,344			•	•
HVAC/Chiller Upgrade and/or Replacement	0	0	54,125				
Building Power Distribution Energy Improvements	0	0	7,500				•
Building Lighting Efficiency Improvements	0	10,000	0	•			•
Repair and/or replace floors and floor coverings	0	12,656	0				
Technology System Improvements	56,000	0	0	•			
Toilet Room Plumbing Replacement.	0	0	10,781			•	•
Repair and/or replace interior ceilings	0	11,250	0				
Subtotals	\$ 67,203	\$ 45,619	\$ 76,750				



Summary by Location, Priority and Special Categories

Clovis Adult School	1-2	3-5	6-10	H&S	DFM	ADA	EE
Bldg C							
Technology System Improvements	56,000	0	0	●			
Toilet Room Plumbing Replacement.	0	56,438	2,906			●	●
Repair and/or replace interior ceilings	0	22,500	0				
Building Lighting Efficiency Improvements	0	10,000	0	●			●
Building Power Distribution Energy Improvements	0	0	7,500				●
ADA Required upgrades	0	13,113	0				
HVAC/Chiller Upgrade and/or Replacement	0	0	45,881				
Classroom Plumbing Replacement	0	12,000	4,344			●	●
Subtotals	\$ 56,000	\$ 114,050	\$ 60,631				
Bldg D							
Technology System Improvements	168,000	0	0	●			
Building Lighting Efficiency Improvements	0	30,000	0	●			●
HVAC/Chiller Upgrade and/or Replacement	0	0	136,781				
Classroom Plumbing Replacement	0	9,266	0			●	●
Building Power Distribution Energy Improvements	0	0	22,500				●
Repair and/or replace floors and floor coverings	0	118,750	0				
Repair and/or Replace casework	0	4,472	0				
ADA Required upgrades	0	7,425	0				
Subtotals	\$ 168,000	\$ 169,913	\$ 159,281				
Bldg E							
Building Power Distribution Energy Improvements	0	0	22,500				●
Classroom Plumbing Replacement	0	3,203	4,344			●	●
HVAC/Chiller Upgrade and/or Replacement	0	0	95,400				
Toilet Room Plumbing Replacement.	0	56,438	2,906			●	●
ADA Required upgrades	0	12,775	0				
Technology System Improvements	143,250	0	24,750	●			
Building Lighting Efficiency Improvements	0	20,000	10,000	●			●
Subtotals	\$ 143,250	\$ 92,416	\$ 159,900				
Bldg F							
Technology System Improvements	56,000	0	0	●			
Building Lighting Efficiency Improvements	0	10,000	0	●			●
ADA Required upgrades	0	1,013	0				
Building Power Distribution Energy Improvements	0	0	7,500				●
Subtotals	\$ 56,000	\$ 11,013	\$ 7,500				



Summary by Location, Priority and Special Categories

Clovis Adult School	1-2	3-5	6-10	H&S	DFM	ADA	EE
Bldg G							
ADA Required upgrades	0	338	0				
Classroom Plumbing Replacement	8,688	0	0			•	•
Subtotals	\$ 8,688	\$ 338	\$ 0				
Bldg H							
Toilet Room Plumbing Replacement.	0	0	12,047			•	•
Classroom Plumbing Replacement	0	0	19,219			•	•
Repair and/or Replace casework	0	11,391	0				
HVAC/Chiller Upgrade and/or Replacement	0	0	189,094				
Subtotals	\$ 0	\$ 11,391	\$ 220,359				

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Clovis Unified School District • August 2009



Center for Advanced Research and Technology



Center for Advanced Research and Technology

2555 Clovis Avenue, Clovis, CA 93612 • t. 559-248-7400, f. 559-248-7423



General Information

Grade Level Configuration:	N/A
Enrollment Capacity:	1,500
Site Acreage:	18.83
Total Plan Square Footage:	26,510

Overview: The Center for Advanced Research and Technology was opened in 2000 with a joint use agreement between the Clovis Unified School District and Fresno Unified School District. CART annually recruits students from both of the districts and has a maximum enrollment capacity of 1,500. The CART campus is comprised of 30 classrooms/labs along with adjoining student conference spaces, administrative office, lecture hall, restrooms, and a small kitchen/snack bar. A large receiving area is also used for instruction and receptions. Students enrolled at CART attend two periods of the school day while maintaining enrollment at their home schools. A technical career curriculum model is provided through a project based/hands-on instructional methodology. The school is expected to operate at capacity for 2009-2010.

Year Built/Renovated/Modernized

Based on available drawings and discussions with District maintenance personnel, we obtained the following information regarding year constructed and Division of the State Architect (DSA) approval for campus construction projects.

Opened: 2000
Architect: Darden

Building/Rooms:	DSA Application Number:	Approval Date:	<u>MODERNIZATION ELIGIBILITY</u>	
			25 Years + 12 Months:	50 Years + 12 Months:

Site Plan Legend

- | | | | |
|--------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------|
|  Classroom Building |  Kindergarten |  Multipurpose Room |  Snack Bar |
|  Administration |  Library/Media Center |  Locker Room |  Wrestling/Weights |
|  Restroom |  Gymnasium |  Shop Building |  Maintenance |
|  Cluster Office |  Storage Building |  Concert Hall | |
|  Field House |  Pool Office |  Portables | |
|  Large Gym |  Small Gym | | |



Civil Engineering

ADA Compliance

Observations: The concrete condition is good, but there are a few locations of minor cracking and trip hazards. The curb ramps do not meet ADA requirements. The accessible stall signage and striping require minor changes. ADA detectable warning surface is required in various locations. Walk gates do not meet ADA requirements.

Recommendations: Reconstruct concrete improvements to eliminate trip hazards. • Add accessible stall signage and striping as required. • Add ADA detectable warning surface at various locations. • Replace walk gates with ADA compliant gate hardware.

Site Drainage

Observations: The storm drain system is in good working condition.

Recommendations: No recommendations.

Transportation Facilities

Observations: Including the Clovis Academy of Gymnastics and Dance there are 553 standard parking stalls on the site – adequate for school use. There are also 19 accessible parking stalls – meeting ADA requirements. Bus loading zone length complies with District Standards. There is no parent drop-off zone. There are bicycle racks for 47 bicycles.

Recommendations: Add parent drop-off zone to comply with District Standards. • Evaluate the need for additional bicycle racks.

Athletic Facilities

Observations: None.

Recommendations: No recommendations.

Landscape

Observations: There are a few locations of bare planters. There are a few locations of bare turf. Weed control is good. There is no concrete amphitheatre on campus.

Recommendations: Add shrubs, ground cover, and trees to bare planters. • Replace turf in bare areas. Eradicate weeds as required.

Irrigation System

Observations: The irrigation system is approximately 6 years old and is in good working condition. Minor irrigation repairs are required in various planter areas.

Recommendations: Repair irrigation in various planter areas as required. • Upgrade the current irrigation operating system to a central computer controlled system.

Architectural

Academic Building

Observations: The building functions for its intended use and adequately provides for a quality space.

Recommendations: Refer to cost sheet for minor recommendations.



Plumbing Engineering

Site

Observations: Most plumbing fixtures meet the district standard. All fixtures are ADA compliant. All fixtures are in good condition.

Recommendations: No modernization is required before 6-10 years. • ADA retrofit is not required.

HVAC

Site

Observations: The building has multiple fan coils served by a dedicated central plant. Server rooms use package units that do not meet the district standard. All exhaust fans were operating. One chiller and the boilers do not meet the district standard. One chiller meets the district standard. Room temperatures vary from one room to another. The EMS is full DDC.

Recommendations: This building is energy efficient. No modernization is required before 6-10 years. • Replace or refurbish fan coils at modernization. • Add VFDs to pumps, replace package units, chiller and boiler with high efficiency units for increased energy efficiency. • Locate the rooms with poor temperature control. • Verify cooling required, replace or repair the units. • Commission the controls.

Electrical Engineering

Site Electrical Distribution System

Observation: The CART site electrical distribution system is in good condition and is compliant with current electrical codes.

Recommendation: No work recommended.

Site Electrical Lighting System

Observation: Parking lot lighting and exterior pathway lighting provides adequate coverage and is compliant with current electrical codes.

Recommendation: CART is in need of surveillance lighting controls to provide adequate lighting coverage for the surveillance camera system.

Electrical Distribution System

Observation: The electrical distribution system for each building at CART is in good condition and is compliant with current electrical codes.

Recommendation: Additional electrical outlets are required in a few areas.

Electrical Lighting System

Observation: The electrical lighting system is in good condition with good coverage and is compliant with current electrical codes.

Electrical Engineering (cont'd)

Recommendation: No work recommended.

Site Theatrical Lighting System

Observation: The CART theatrical lighting system is in fair condition and is compliant with District standards. Some light fixtures are not energy efficient.

Recommendation: Replace light fixtures.

Site Sound Reinforcement System

Observation: CART does not have or require a sound reinforcement system.

Recommendation: Replace loudspeakers, wiring, controls, and electronics.

Low Voltage

Site Fire Alarm System

Observation: The Fire Alarm system is in good condition and is compliant with current electrical codes.

Recommendation: No work recommended.

Site Telephone System

Observation: The telephone system at CART is in fair condition but does not meet District standards. Telephone cabling does not comply with current industry standards and electrical codes.

Recommendation: Replace telephone system, cabling, and handsets.

Site CATV System

Observation: CART does not currently have a CATV system in use.

Recommendation: Install CATV system electronics and cabling.

Site Clock System

Observation: The current clock system at CART does not meet District standards.

Recommendation: Replace clock system and devices.

Site Public Address System

Observation: The CART public address system is in poor condition. Public Address cabling is in poor condition and is not compliant with current electrical codes.

Recommendation: Replace public address system, cabling, and devices.

Site Camera Surveillance System

Observation: The camera surveillance system is in poor condition and does not meet current District standards.

Recommendation: Replace surveillance cameras, cabling, and electronics.



Low Voltage (cont'd)

Site Audio Visual System

There are approximately (30) locations at CART that do not have an audio visual system or the current system does not meet District standards.

Recommendation: Install projector, projection screen, loudspeaker, and audio visual controls for each location.

Data System

Observation: The CART data system is not compliant with current District and industry standards. Data system spaces do not provide adequate room or cooling. Fiber optic cabling does not meet District standards.

Recommendation: (1) Data system space requires architectural improvements to meet District and industry standards.

- Approximately (4) new data system spaces are required.
- All network cabling should be replaced.
- Each data space requires a new cooling system.

Project Request

Site Faculty: "Repair/replace outside security cameras."

Response: Accommodated in Next Modernization



Summary by Discipline and Priority

Center for Advanced Research and Technology	1-2	3-5	6-10	TOTALS
Site	124,819	77,927	452,910	655,656
Architectural	0	78,150	0	78,150
Plumbing	0	0	166,850	166,850
HVAC	0	0	1,207,949	1,207,949
Electrical	34,000	0	391,000	425,000
Low Voltage	798,500	23,000	413,600	1,235,100
Subtotals:	\$ 957,319	\$ 179,077	\$ 2,632,309	\$ 3,768,705
Contingency 5%	47,866	8,954	131,615	188,435
Haz Mat Abatement 5%	47,866	8,954	131,615	188,435
A/E Fees 10%	95,732	17,908	263,231	376,870
Testing and Inspections 5%	47,866	8,954	131,615	188,435
Total:	\$ 1,196,649	\$ 223,846	\$ 3,290,386	\$ 4,710,881

An additional 25% was added to each project that includes the “fees” for testing, inspection, and architectural/engineering. These costs (are in addition to the project construction costs) will need to be considered when the District chooses to schedule the project.



Projects by Discipline and Sub-Categories

Center for Advanced Research and Technology	TOTALS
Site	
Asphalt and Play Court Renovations	6,094
Transportation and Parking Lot Improvements	656,589
Site Drainage Improvements	538
Site Concrete, Ramps, Stairs, and ADA Improvements	57,441
Landscaping, Irrigation, and Play Field Improvements	97,409
Fencing and Gates Upgrades	1,500
Architectural	
Replace and/or add Play Area or Athletic Field facilities	6,656
Repair and/or replace window, door and hardware systems	19,063
Repair and/or replace floors and floor coverings	47,500
ADA Required upgrades	3,375
Paint interior and/or exterior walls	21,094
Plumbing	
Classroom Plumbing Replacement	7,547
Toilet Room Plumbing Replacement.	201,016
HVAC	
HVAC/Chiller Upgrade and/or Replacement	1,509,936
Electrical	
Building Lighting Efficiency Improvements	185,000
Exterior Power Distribution Energy Improvements	157,500
Exterior Lighting Efficiency Improvements	82,500
Building Power Distribution Energy Improvements	106,250
Low Voltage	
Fire Alarm/Life Safety	156,250
Technology System Improvements	1,371,375
Exterior Lighting Efficiency Improvements	16,250
Total	\$ 4,710,881



Summary by Location, Priority and Special Categories

Center for Advanced Research and Technology	1-2	3-5	6-10	H&S	DFM	ADA	EE
Site							
Landscaping, Irrigation, and Play Field Improvements	0	97,409	0				
Building Lighting Efficiency Improvements	42,500	0	0	•			•
Exterior Lighting Efficiency Improvements	0	0	82,500	•			•
Exterior Power Distribution Energy Improvements	0	0	157,500				
Fencing and Gates Upgrades	1,500	0	0				
Site Concrete, Ramps, Stairs, and ADA Improvements	49,679	0	7,763	•		•	
Site Drainage Improvements	538	0	0				
Exterior Lighting Efficiency Improvements	16,250	0	0	•			•
Fire Alarm/Life Safety	0	0	156,250	•			
Technology System Improvements	281,250	28,750	112,500	•			
Transportation and Parking Lot Improvements	98,214	0	558,375				
Asphalt and Play Court Renovations	6,094	0	0			•	
Subtotals	\$ 496,024	\$ 126,159	\$ 1,074,888				
Cart							
Building Power Distribution Energy Improvements	0	0	106,250				•
ADA Required upgrades	0	3,375	0			•	
Paint interior and/or exterior walls	0	21,094	0		•		
Repair and/or replace floors and floor coverings	0	47,500	0		•		
Repair and/or replace window, door and hardware systems	0	19,063	0	•		•	
Replace and/or add Play Area or Athletic Field facilities	0	6,656	0				•
Building Lighting Efficiency Improvements	0	0	142,500	•			•
Classroom Plumbing Replacement	0	0	7,547			•	
Toilet Room Plumbing Replacement.	0	0	201,016			•	•
Technology System Improvements	700,625	0	248,250	•			
HVAC/Chiller Upgrade and/or Replacement	0	0	1,509,936	•			•
Subtotals	\$ 700,625	\$ 97,688	\$ 2,215,498				

Long Range Facility Audit 2009-2019

Clovis Unified School District • August 2009



Gateway/Enterprise Alternative Education



Gateway/Enterprise Alternative Education

1550 Herndon, Clovis, CA 93611 • t. 559-327-1800, f. 559-327-1890



General Information

Grade Level Configuration:	9-12	Overview:
Enrollment Capacity:		
Site Acreage:	7.8	
Total Plan Square Footage:	23,087	
















Year Built/Renovated/Modernized

Based on available drawings and discussions with District maintenance personnel, we obtained the following information regarding year constructed and Division of the State Architect (DSA) approval for campus construction projects.

Opened: 1994
Architect: Darden

Building/Rooms:	DSA Application Number:	Approval Date:	<u>MODERNIZATION ELIGIBILITY</u>	
			25 Years + 12 Months:	50 Years + 12 Months:
N/A	N/A			

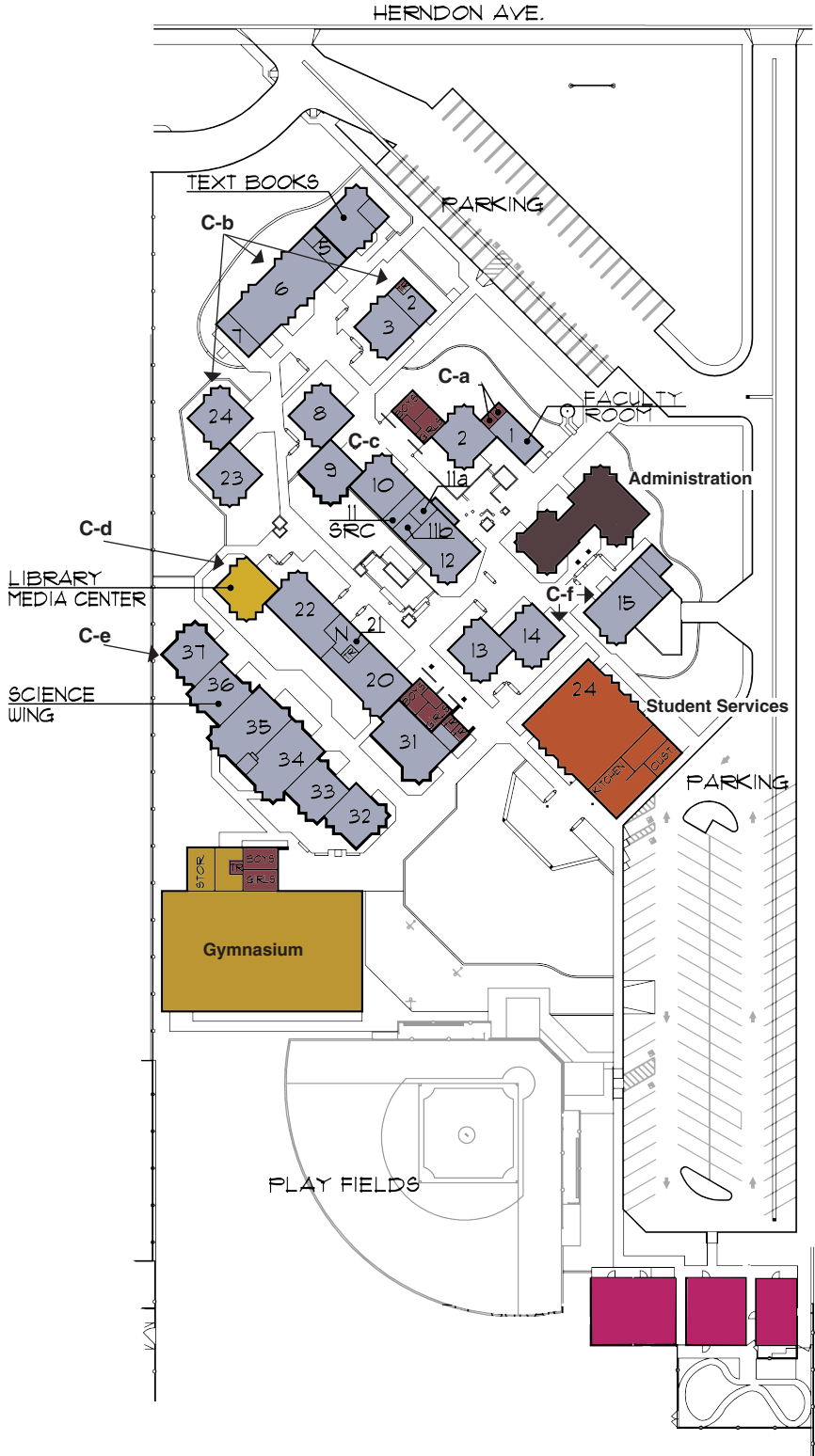
Site Plan Legend

-  Classroom Building
-  Kindergarten
-  Multipurpose Room
-  Snack Bar
-  Administration
-  Library/Media Center
-  Locker Room
-  Wrestling/Weights
-  Restroom
-  Gymnasium
-  Shop Building
-  Maintenance
-  Cluster Office
-  Storage Building
-  Concert Hall
-  Field House
-  Pool Office
-  Portables
-  Large Gym
-  Small Gym





Site Plan



Civil Engineering

ADA Compliance

Observations: The concrete conditions are good, but are a few locations of minor cracking and trip hazards. In small areas, the sidewalk cross-slopes and curb ramps do not meet ADA requirements. ADA detectable warning surface is required in various locations. Storm drain inlet grates do not meet ADA requirements for maximum grate openings. Walk gates do not meet ADA requirements. Some of the drinking fountains do not meet ADA requirements.

Recommendations: Reconstruct concrete improvements to eliminate trip hazards and meet ADA slope requirements.

- Add ADA detectable warning surface at various locations.
- Replace storm drain inlet grates in accessible paths of travel with ADA compliant grates.
- Replace walk gates with ADA compliant gate hardware.
- Replace drinking fountains with ADA compliant drinking fountains.

Site Drainage

Observations: The storm drain system is in good working condition.

Recommendations: No recommendations.

Transportation Facilities

Observations: There are 94 standard parking stalls on the campus – adequate for school use. There are also 6 accessible parking stalls – meeting ADA requirements. Bus loading zone length is 10 feet short of the District Standard. There is no parent drop-off zone. There are bicycle racks for 15 bicycles.

Recommendations: The bus loading zone does not meet the District Standard, but appears to serve the campus adequately.

- Add a parent drop-off zone to meet District Standards.
- Evaluate the need for additional bicycle racks.

Athletic Facilities

Observations: The backstop meets ADA requirements. The backstop backboards are mostly wood. The playfields meet District Standards. There are 3 basketball backboards and rims, but no full courts.

Recommendations: Replace the existing backstop backboards with HDPE backboards to current District Standards. Add volleyball playcourts.

Landscape

Observations: The campus area landscaping does not meet the District Standard of 95% for landscape coverage. The weed condition also exceeds the District Standard of less than 25% coverage.

Recommendations: Add shrubs, ground cover, and trees to bare planters.

- Replace turf in bare areas.
- Eradicate weeds as required.

Irrigation System

Observations: The irrigation system is 5 years old and is in good working condition. The irrigation system is controlled by a central ready E.T. irrigation controllers and act as standalone units now. The irrigation supply is from the existing irrigation water well located south of the Grounds Building at the Cook Center. Minor irrigation repairs are required in various planter and turf areas to keep the irrigation system operating efficiently.

Recommendation: The irrigation supply is to be replaced by a new irrigation well VFD pumping system to be constructed near the Community Day Center.

- This new pumping system and the existing irrigation system will be controlled by new Cook Center central computer control system.
- Upgrade the existing controllers and link them with the Cook Center central control system.
- Repair and modify irrigation system as required.



Architectural

Administration Building

Observations: The building does not function for its intended use relative to spaces typical per the District standards. The building is undersized relative to office spaces, meeting space and other ancillary spaces.

Recommendations: Provide an addition to this building to incorporate additional office spaces to meet District standards. • The addition should include a physical connection with the neighboring Faculty building so all of these spaces and functions are in one building. • Refer to cost sheet for minor recommendations.

Library Media Center

Observations: The building functions for its intended use, however is inadequate in providing space for book stacks, teaching spaces, reading areas and storage

Recommendations: Provide an addition to this building to provide additional library function spaces to mitigate spatial inconsistencies with District standards. • Refer to cost sheet for minor recommendations.

Multi-Purpose Building/Student Center

Observations: The building functions for its intended use and adequately provides for a quality space.

Recommendations: Refer to cost sheet for minor recommendations.

Classrooms Buildings C-a - C-f

Observations: The buildings functions for its intended use and adequately provides for a quality space.

Recommendations: Refer to cost sheet for minor recommendations.

Plumbing Engineering

Administration Building

Observations: There are no plumbing fixtures.

Gymnasium Building

Observations: All plumbing fixtures meet the district standard. All fixtures are ADA compliant. All fixtures are in good condition.

Recommendations: No modernization is required until after 10 years. • ADA retrofit is not required.

Student Services Building

Observations: All plumbing fixtures meet the district standard. All fixtures are ADA compliant. All fixtures are in good condition.

Recommendations: No modernization is required until after 10 years. • ADA retrofit is not required.

Classroom Building C-a

Observations: Some plumbing fixtures meet the district standard. Some fixtures are ADA compliant. Most fixtures are in fair condition.

Recommendations: No modernization is required before 3-5 years. • ADA retrofit is suggested.

Classroom Building C-b

Observations: All plumbing fixtures meet the district standard. Some fixtures are ADA compliant. All fixtures are in good condition.

Recommendations: No modernization is required before 3-5 years. • ADA retrofit is suggested.

Classroom Building C-c

Observations: All plumbing fixtures meet the district standard. All fixtures are ADA compliant. All fixtures are in good condition.

Recommendations: No modernization is required until after 10 years. • ADA retrofit is not required.

Classroom Building C-d

Observations: There are no plumbing fixtures.

Classroom Building C-e

Observations: All plumbing fixtures meet the district standard. All fixtures are ADA compliant. All fixtures are in good condition.

Recommendations: No modernization is required until after 10 years. • ADA retrofit is required.

Classroom Building C-f

Observations: There are no plumbing fixtures.

Portable Classrooms

Observations: Some plumbing fixtures meet the district standard. Some fixtures are ADA compliant. All fixtures are in good condition.

Recommendations: No modernization is required before 6-10 years. • ADA retrofit is suggested.



HVAC

Administration Building

Observations: All package units meet the district standard. The EMS is full DDC.

Recommendations: This building is very energy efficient. • No modernization is required until after 10 years. • Units may be replaced and full DDC control added for increased energy efficiency.

Gymnasium Building

Observations: All package units meet the district standard. All exhaust fans are operating. The data room has separate air conditioning and meets the district standard. The EMS is full DDC.

Recommendations: This building is very energy efficient. • No modernization is required until after 10 years.

Student Services Building

Observations: Most units do not meet the district standard. All exhaust fans are operating. The EMS is full DDC.

Recommendations: This building is not energy efficient. • No modernization is required before 1-2 years. • Units may be replaced for increased energy efficiency.

Classroom Building C-a

Observations: All package units meet the district standard. All exhaust fans are not operating. The EMS is full DDC.

Recommendations: This building is very energy efficient. • No modernization is required before 6-10 years. • Exhaust fans should be repaired by maintenance.

Classroom Building C-b

Observations: Most package units meet the district standard. All exhaust fans are operating. The EMS is full DDC.

Recommendations: This building is energy efficient. • No modernization is required before 6-10 years.

Classroom Building C-c

Observations: Most package units meet the district standard. The EMS is full DDC.

Recommendations: This building is energy efficient. • No modernization is required before 6-10 years.

Classroom Building C-d

Observations: Some package units meet the district standard. All exhaust fans are operating. The EMS is full DDC.

Recommendations: This building is not energy efficient. • No modernization is required before 1-2 years. • Replace units at modernization.

Classroom Building C-e

Observations: All package units meet the district standard. The EMS is full DDC.

Recommendations: This building is very energy efficient. • No modernization is required before 6-10 years.

Classroom Building C-f

Observations: Most units meet the district standard. The EMS is full DDC.

HVAC (cont'd)

Recommendations: This building is energy efficient. • No modernization is required until after 10 years.

Portable Classrooms

Observations: Most heat pumps do not meet the district standard.

Recommendations: Most buildings are not energy efficient. • Energy use will benefit from the retrofit of heat pumps to high efficiency units and DDC control. • No modernization is required before 6-10 years.



Electrical Engineering

Site Electrical Distribution System

Observation: The Gateway High School site electrical distribution system is in fair condition and meets district standards.

Recommendation: No work recommended.

Site Electrical Lighting System

Observation: Parking lot lighting and exterior pathway lighting provides adequate coverage. Light fixtures are in fair condition and meet district standards.

Recommendation: Gateway High School is in need of surveillance lighting controls to provide adequate lighting coverage for the surveillance camera system.

Electrical Distribution system

Observation: The electrical distribution system for Gateway High School is in good condition.

Recommendation: Only minimal replacement and/or addition of electrical outlets and breakers is recommended.

Electrical Lighting System

Observation: The electrical lighting system is in fair condition with adequate lighting coverage.

Recommendation: No work recommended.

Site Theatrical Lighting System

Observation: The Gateway High School theatrical lighting system is in poor condition and does not meet District standards. Light fixtures are not energy efficient.

Recommendation: Replace all light fixtures, wiring, controls, and electronics.

Site Sound Reinforcement System

Observation: The sound reinforcement system is in poor condition and does not meet District and industry standards.

Recommendation: Replace all loudspeakers, wiring, controls, and electronics.

Low Voltage

Site Fire Alarm System

Observation: The overall Fire Alarm system is in poor condition and is not compliant with current electrical codes. The control panel is fairly new and in good condition. Approximately 75% of devices and wiring are in poor condition.

Recommendation: Replace about 75% of devices and wiring. Re-certify system to meet District standards.

Site Telephone System

Observation: The Gateway High School telephone system is in fair condition but does not meet current District standards. Telephone cabling is not compliant with current industry standards or electrical codes.

Recommendation: Replace telephone system, cabling, and handsets.

Site Clock System

Observation: The current clock system at Gateway High School does not meet district standards.

Recommendation: Replace clock system and devices.

CATV System

Observation: The CATV system is in poor condition and is only available in a few areas. Most buildings have CATV cabling in the classrooms but is missing site cabling needed to connect to the system.

Recommendation: Install new electronics and connectors. • Install site cabling to approximately 75% of the buildings.

Site Public Address System

Observation: The Gateway High School public address system is in poor condition and does not meet current District standards. Loudspeaker coverage is inadequate in some external areas. Public address cabling does not comply with current industry standards and electrical codes.

Recommendation: Replace public address system and cabling. • Install additional loudspeakers for external coverage.

Site Camera Surveillance System

Observation: The camera surveillance system is in fair condition and has adequate coverage. The current system does not entirely meet the District standard.

Recommendation: Replace existing system electronics and cabling.

Site Audio Visual System

Observation: There are approximately (24) locations at the Clovis Adult School that do not have an audio visual system or the current system does not meet District standards.

Recommendation: Install new complete audio visual system for each location.

Data System

Observation: The current data system is in fair condition but does not meet all District standards. Some data system spaces are new and meet District standards. Some remote data system spaces do not provide adequate room and cooling. Some network cabling does not have the capabilities to run high speed networks as required by District standards.

Recommendation: Replace network cabling in approximately 50% of buildings. • Approximately (3) remote data system spaces require a new dedicated room with a separate cooling systems. • Requires a new UPS for each new data system space to meet District standards.



Summary by Discipline and Priority

Gateway/Enterprise Alternative Education	1-2	3-5	6-10	TOTALS
Site	76,567	266,110	104,692	447,369
Architectural	0	1,626,730	0	1,626,730
Plumbing	0	32,125	28,388	60,513
HVAC	62,008	12,450	170,453	244,910
Electrical	34,000	66,000	325,000	425,000
Low Voltage	282,000	425,000	539,600	1,246,600
Subtotals:	\$ 454,575	\$ 2,428,415	\$ 1,168,132	\$ 4,051,122
Contingency 5%	22,729	121,421	58,407	202,556
Haz Mat Abatement 5%	22,729	121,421	58,407	202,556
A/E Fees 10%	45,457	242,842	116,813	405,112
Testing and Inspections 5%	22,729	121,421	58,407	202,556
Total:	\$ 568,218	\$ 3,035,519	\$ 1,460,165	\$ 5,063,902

An additional 25% was added to each project that includes the “fees” for testing, inspection, and architectural/engineering. These costs (are in addition to the project construction costs) will need to be considered when the District chooses to schedule the project.



Projects by Discipline and Sub-Categories

Gateway/Enterprise Alternative Education	TOTALS
Site	
Landscaping, Irrigation, and Play Field Improvements	332,638
Site Drainage Improvements	4,250
Site Plumbing Renovations	17,500
Transportation and Parking Lot Improvements	130,806
Site Concrete, Ramps, Stairs, and ADA Improvements	72,518
Fencing and Gates Upgrades	1,500
Architectural	
Repair and/or replace interior wall finishes	75,000
ADA Required upgrades	367,225
Repair and/or replace interior ceilings	46,563
Repair and/or replace floors and floor coverings	195,938
Expand and/or reconfigure Library Media Center building	612,500
Expand and/or reconfigure Classroom building	122,500
Expand and/or reconfigure Administration building	612,500
Replace and/or repair roofing, roof fences and fascia	1,188
Plumbing	
Classroom Plumbing Replacement	6,406
Toilet Room Plumbing Replacement.	69,234
HVAC	
HVAC/Chiller Upgrade and/or Replacement	306,138
Electrical	
Building Lighting Efficiency Improvements	185,000
Exterior Power Distribution Energy Improvements	157,500
Building Power Distribution Energy Improvements	106,250
Exterior Lighting Efficiency Improvements	82,500
Low Voltage	
Exterior Lighting Efficiency Improvements	16,250
Fire Alarm/Life Safety	156,250
Technology System Improvements	1,385,750
Total	\$ 5,063,902



Summary by Location, Priority and Special Categories

Gateway/Enterprise Alternative Education	1-2	3-5	6-10	H&S	DFM	ADA	EE
Site							
Exterior Lighting Efficiency Improvements	16,250	0	0	●			●
Site Concrete, Ramps, Stairs, and ADA Improvements	41,153	0	31,365	●		●	
Site Drainage Improvements	4,250	0	0				
Site Plumbing Renovations	17,500	0	0				
Landscaping, Irrigation, and Play Field Improvements	0	332,638	0		●		
Fencing and Gates Upgrades	1,500	0	0				
Fire Alarm/Life Safety	0	118,750	37,500	●			
Technology System Improvements	276,875	85,000	75,000	●			
Building Lighting Efficiency Improvements	42,500	0	0	●			●
Exterior Lighting Efficiency Improvements	0	82,500	0	●			●
Exterior Power Distribution Energy Improvements	0	0	157,500				
Transportation and Parking Lot Improvements	31,306	0	99,500				
Subtotals	\$ 431,334	\$ 618,888	\$ 400,865				
Administration							
Building Power Distribution Energy Improvements	0	0	16,250				●
Expand and/or reconfigure Administration building	0	612,500	0				
HVAC/Chiller Upgrade and/or Replacement	0	3,891	24,103	●			●
Repair and/or replace floors and floor coverings	0	118,750	0		●		
Building Lighting Efficiency Improvements	0	0	22,500	●			●
Technology System Improvements	4,375	108,750	163,750	●			
Subtotals	\$ 4,375	\$ 843,891	\$ 226,603				
C-a							
HVAC/Chiller Upgrade and/or Replacement	2,600	3,891	14,427	●			●
Technology System Improvements	6,875	31,250	17,875	●			
Toilet Room Plumbing Replacement	0	40,156	6,250			●	●
Building Lighting Efficiency Improvements	0	0	10,000	●			●
ADA Required upgrades	0	362,500	0			●	
Repair and/or replace floors and floor coverings	0	5,938	0		●		
Building Power Distribution Energy Improvements	0	0	7,500				●
Classroom Plumbing Replacement	0	0	3,203			●	
Replace and/or repair roofing, roof fences and fascia	0	1,188	0				
Subtotals	\$ 9,475	\$ 444,922	\$ 59,255				



Summary by Location, Priority and Special Categories

Gateway/Enterprise Alternative Education	1-2	3-5	6-10	H&S	DFM	ADA	EE
C-b							
Building Power Distribution Energy Improvements	0	0	30,000				•
HVAC/Chiller Upgrade and/or Replacement	2,600	0	44,081	•			•
Technology System Improvements	20,625	93,750	109,625	•			
Classroom Plumbing Replacement	0	0	3,203			•	
Toilet Room Plumbing Replacement.	0	0	5,391			•	•
Building Lighting Efficiency Improvements	0	0	40,000	•			•
Subtotals	\$ 23,225	\$ 93,750	\$ 232,300				
C-c							
Repair and/or replace floors and floor coverings	0	47,500	0		•		
HVAC/Chiller Upgrade and/or Replacement	0	3,891	58,508	•			•
Subtotals	\$ 0	\$ 51,391	\$ 58,508				
C-d							
ADA Required upgrades	0	338	0			•	
Technology System Improvements	6,875	0	49,125	•			
HVAC/Chiller Upgrade and/or Replacement	24,103	0	19,978	•			•
Building Power Distribution Energy Improvements	0	0	7,500				•
Expand and/or reconfigure Classroom building	0	122,500	0				
Repair and/or replace interior ceilings	0	2,813	0				
Building Lighting Efficiency Improvements	0	0	10,000	•			•
Subtotals	\$ 30,978	\$ 125,650	\$ 86,603				
C-e							
Building Power Distribution Energy Improvements	0	0	15,000				•
Building Lighting Efficiency Improvements	0	0	20,000	•			•
Technology System Improvements	6,875	31,250	73,875	•			
Subtotals	\$ 6,875	\$ 31,250	\$ 108,875				
C-f							
Building Lighting Efficiency Improvements	0	0	20,000	•			•
Building Power Distribution Energy Improvements	0	0	15,000				•
HVAC/Chiller Upgrade and/or Replacement	0	3,891	0	•			•
Technology System Improvements	6,875	31,250	73,875	•			
Repair and/or replace interior ceilings	0	12,500	0				
Repair and/or replace floors and floor coverings	0	23,750	0		•		
Subtotals	\$ 6,875	\$ 71,391	\$ 108,875				



Summary by Location, Priority and Special Categories

Gateway/Enterprise Alternative Education	1-2	3-5	6-10	H&S	DFM	ADA	EE
Gym							
Building Power Distribution Energy Improvements	0	0	7,500				•
Technology System Improvements	0	0	56,000	•			
Building Lighting Efficiency Improvements	0	0	10,000	•			•
Subtotals	\$ 0	\$ 0	\$ 73,500				
Library Media Center							
Expand and/or reconfigure Library Media Center building	0	612,500	0				
Repair and/or replace interior ceilings	0	31,250	0				
ADA Required upgrades	0	2,025	0			•	
Repair and/or replace interior wall finishes	0	25,000	0				
Subtotals	\$ 0	\$ 670,775	\$ 0				
Multipurpose							
HVAC/Chiller Upgrade and/or Replacement	48,206	0	0	•			•
Repair and/or replace interior wall finishes	0	50,000	0				
ADA Required upgrades	0	2,363	0			•	
Subtotals	\$ 48,206	\$ 52,363	\$ 0				
Portables							
Technology System Improvements	6,875	31,250	17,875	•			
HVAC/Chiller Upgrade and/or Replacement	0	0	51,969	•			•
Toilet Room Plumbing Replacement.	0	0	17,438			•	•
Building Power Distribution Energy Improvements	0	0	7,500				•
Building Lighting Efficiency Improvements	0	0	10,000	•			•
Subtotals	\$ 6,875	\$ 31,250	\$ 104,781				

Long Range Facility Audit 2009-2019

Clovis Unified School District • August 2009



Community Day School



Community Day School

1550 Herndon, Clovis, CA 93611 • t. 559-327-1800, f. 559-327-1890



General Information

Grade Level Configuration: 4-8

Enrollment Capacity:

Site Acreage: .75

Total Plan Square Footage: 7,400

Overview: Clovis Community Day School was opened at its current location in 2003. CCDS serves special at-risk students in Grades 4-8 who have not been successful in a comprehensive school setting nor benefited from on-site intervention programs. The campus is comprised of portable classroom buildings, located on the David E. Cook Educational Center. CCDS is divided into two small community day schools; Clovis Community Day Elementary (two classroom, 15 students, Grades 4-6) and Clovis Community Day Secondary (three classrooms, 75 students, Grades 7-12). This school is currently operating at capacity.



Summary by Discipline and Priority

Community Day School		1-2	3-5	6-10	TOTALS
Site		51,238	21,240	8,600	81,078
Electrical		106,000	8,000	126,000	240,000
Low Voltage		637,900	45,000	125,000	807,900
	Subtotals: \$	795,138	\$ 74,240	\$ 259,600	\$ 1,128,978
Contingency	5%	39,757	3,712	12,980	56,449
Haz Mat Abatement	5%	39,757	3,712	12,980	56,449
A/E Fees	10%	79,514	7,424	25,960	112,898
Testing and Inspections	5%	39,757	3,712	12,980	56,449
	Total: \$	993,923	\$ 92,800	\$ 324,500	\$ 1,411,223

An additional 25% was added to each project that includes the “fees” for testing, inspection, and architectural/engineering. These costs (are in addition to the project construction costs) will need to be considered when the District chooses to schedule the project.



Projects by Discipline and Sub-Categories

Community Day School		TOTALS
Site		
Fencing and Gates Upgrades		1,500
Transportation and Parking Lot Improvements		10,844
Site Drainage Improvements		7,885
Site Concrete, Ramps, Stairs, and ADA Improvements		54,569
Landscaping, Irrigation, and Play Field Improvements		26,550
Electrical		
Exterior Power Distribution Energy Improvements		157,500
Exterior Lighting Efficiency Improvements		51,250
Building Power Distribution Energy Improvements		38,750
Building Lighting Efficiency Improvements		52,500
Low Voltage		
Fire Alarm/Life Safety		156,250
Technology System Improvements		853,625
Total	\$	1,411,223



Summary by Location, Priority and Special Categories

Community Day School	1-2	3-5	6-10	H&S	DFM	ADA	EE
Site							
Transportation and Parking Lot Improvements	94	0	10,750			●	
Landscaping, Irrigation, and Play Field Improvements	0	26,550	0				
Site Concrete, Ramps, Stairs, and ADA Improvements	54,569	0	0			●	
Site Drainage Improvements	7,885	0	0				
Fire Alarm/Life Safety	0	0	156,250				
Fencing and Gates Upgrades	1,500	0	0				
Technology System Improvements	352,500	56,250	0				
Exterior Power Distribution Energy Improvements	0	0	157,500				
Exterior Lighting Efficiency Improvements	51,250	0	0				●
Subtotals	\$ 467,798	\$ 82,800	\$ 324,500				
Portables							
Building Power Distribution Energy Improvements	38,750	0	0				●
Technology System Improvements	444,875	0	0				
Building Lighting Efficiency Improvements	42,500	10,000	0				●
Subtotals	\$ 526,125	\$ 10,000	\$ 0				

H&S Health and Safety
ADA Americans with Disability Act Compliance

DFM Deferred Maintenance
EE Energy Efficiency



Long Range Facility Audit 2009-2019

Clovis Unified School District • August 2009



Sierra Outdoor School



Sierra Outdoor School

15700 Old Oak Ranch Road, Sonora, CA 95370 • t. 209-532-3691, f. 209-532-4196



General Information

Grade Level Configuration:	9-12
Enrollment Capacity:	
Site Acreage:	27.1
Total Plan Square Footage:	73,040

Overview: The Sierra Outdoor School, located in Tuolumne County, was purchased by the District in 1966 and is operated as an “outdoor educational facility,” where districts throughout California contract for student groups to attend for varying periods of time. In addition, individual groups and private organizations contract to host camps, clinics, and workshops at the school. Sierra Outdoor School offers a combination of classroom and outdoor learning experiences for campers. The campus is comprised of 10 classrooms, a gymnasium, and a recently-expanded dining hall and kitchen, plus 27 acres of outdoor space. The SOS campus recently underwent a major remodel/expansion project and operates on a year round schedule.




Year Built/Renovated/Modernized

Based on available drawings and discussions with District maintenance personnel, we obtained the following information regarding year constructed and Division of the State Architect (DSA) approval for campus construction projects.

Opened: 1966
Architect: US Army Corps of Engineers

Building/Rooms:	DSA Application Number:	Approval Date:	<u>MODERNIZATION ELIGIBILITY</u>	
			25 Years + 12 Months:	50 Years + 12 Months:
N/A	N/A			

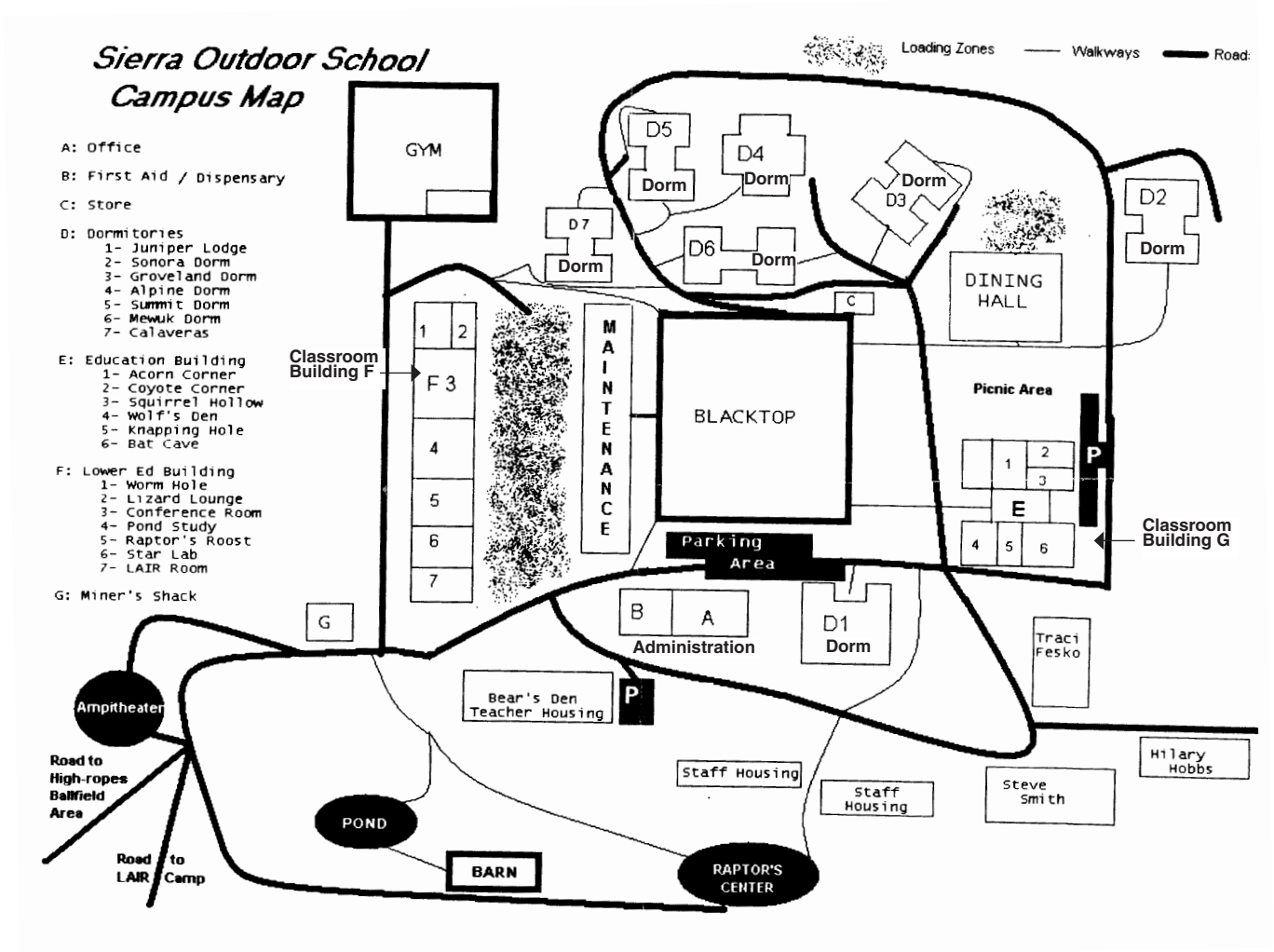
Site Plan Legend

-  Classroom Building
-  Kindergarten
-  Multipurpose Room
-  Snack Bar
-  Administration
-  Library/Media Center
-  Locker Room
-  Wrestling/Weights
-  Restroom
-  Gymnasium
-  Shop Building
-  Maintenance
-  Cluster Office
-  Storage Building
-  Concert Hall
-  Field House
-  Pool Office
-  Portables
-  Large Gym
-  Small Gym





Site Plan



Architectural

Administration Building

Observations: The building does not function for its intended use and is undersized. Currently the Nurse's spaces share the building with the administration program.

Recommendations: Provide a new modular building dedicated to the Nurse's program. • Remodel the Administration building to provide new and additional office spaces and storage.

Dormitory Buildings

Observations: The buildings function for their intended use and adequately provide for a quality space except for the roof and fascia. The asphalt shingle roofs and wood fascia on all of the dormitory buildings are deteriorating and have met their material life expectancy.

Recommendations: Replace the roofs with a more durable standing seam metal panel roofing system. • Also, replace all of the fascia around the roofs.

Observations: The water heaters in all of the dormitory buildings are not efficient relative to energy and water use.

Recommendations: Replace all of the existing tank water heaters with instant-hot energy efficient water heaters.

Observations: The swamp coolers in all of the dormitory buildings are nearing the end of their life expectancy and are not operating to an efficient standard.

Recommendations: Replace all of the existing swamp coolers with new energy efficient swamp coolers.

Classroom Buildings F & G

Observations: The buildings do not function for their intended use and do not adequately provide for quality spaces. Most of the finishes have met or are nearing the end of their life expectancy. The structure most likely does not meet the current code. A remodel of these buildings would not be cost effective.

Recommendations: Demolish the buildings and replace with new classroom buildings in accordance with current standards and codes.

Gymnasium Building

Observations: The building does not function for its intended use and does not adequately provide for a quality space. Most of the finishes have met or are nearing the end of their life expectancy. The structure does not meet the current code. A remodel of this building would not be cost effective.

Recommendations: Demolish the gymnasium and replace with a new gymnasium building in accordance with current standards and codes.

Staff Residence Buildings

Observations: The buildings do not function for their intended use and do not adequately provide for a quality space.

Recommendations: Demolish all of the Staff Residence trailer buildings and replace with a new Staff Residence building to house all of the on-site staff.

Maintenance Building

Observations: The building does not function for its intended use and does not adequately provide for a quality space. The finishes have met their life expectancy and are in need of replacement. The equipment is outdated and does not meet standards.



Architectural (cont'd)

Recommendations: Provide a remodel throughout so as to provide new wall finishes. Replace the woodworking equipment with more modern equipment. Also, provide a dust collection exhaust system.

Site

Observations: The current drop off area and bus turnaround is insufficient in size and function.

Recommendations: Add asphalt concrete paved parking lot and bus turnaround near the dormitory buildings to allow for additional parking and an adequate vehicle and bus traffic flow.

Observations: The existing asphalt concrete paved play court is worn and cracked. The current grade and slope of the play court does not meet standards relative to drainage.

Recommendations: Remove and replace the asphalt concrete paved play court with new asphalt concrete paved designed with appropriate drainage.

Observations: The existing domestic water system contains outdated and asbestos lined water pipes.

Recommendations: Remove and replace the domestic water piping system with that of current standards.

Observations: The existing turf playfield does not have an underground irrigation system.

Recommendations: Provide an underground irrigation system to adequately and automatically water the turf at the playfield.

Observations: The existing amphitheater stage / platform is worn and inadequate.

Recommendations: Remove and replace with a new wood stage / platform.

Observations: The landscaping throughout the campus is lacking in quantity and quality.

Recommendations: Provide additional landscaping in accordance with the campus master planned landscaping plan.

Electrical Engineering

Site Electrical Distribution System

Observation: The Sierra Outdoor School site electrical distribution system is in poor condition and is not compliant with current electrical codes.

Recommendation: Replace existing electrical switchboard and pad. • Replace all electrical feeder cables to each building. • Install underground conduit infrastructure from the switchboard to each building. • Remove existing 150kW and 60kW generator with (1) new 300kW generator. • Replace existing generator feeder cables.

Site Electrical Lighting System

Observation: Parking lot lighting and exterior pathway lighting does not provide adequate coverage. Light fixtures and wiring are in poor condition.

Recommendation: Install new underground conduit and wiring. Install new light poles to provide adequate coverage.

Electrical Distribution System

Observation: The dormitories and dining hall are in good condition due to a recent modernization. The rest of the campus electrical distribution system is in poor condition.

Recommendation: Replace electrical panels and circuits in all buildings that have not been recently modernized.

Electrical Lighting System

Observation: The dormitories and dining hall are in good condition due to a recent modernization. The rest of the campus lighting system is in poor condition.

Recommendation: Replace lighting system in all buildings that have not been recently modernized.

Site Theatrical Lighting System

Observation: The Sierra Outdoor School does not have or require a theatrical lighting system.

Recommendation: No work recommended.

Site Sound Reinforcement System

The Sierra Outdoor School does not have or require a sound reinforcement system.

Recommendation: No work recommended.



Low Voltage

Site Fire Alarm System

Observation: The dormitories and dining hall are in good condition due to a recent modernization. The rest of the campus fire alarm system is in poor condition and is not compliant with current electrical codes.

Recommendation: Install fire alarm system, wiring, and devices in all buildings that have not been recently modernized.

Site Telephone System

Observation: The Sierra Outdoor School telephone system is in poor condition and does not meet current District standards.

Recommendation: Install new telephone system, cabling, and handsets.

Site Clock System

Observation: The Sierra Outdoor School does not currently have a clock system. The existing battery operated clocks meet the needs of the campus.

Recommendation: No work recommended.

CATV System

Observation: The Sierra Outdoor School does not have a CATV system.

Recommendation: No work recommended.

Site Public Address System

Observation: The Sierra Outdoor School does not have a public address system which does not meet current District standards.

Recommendation: Install public address system, loudspeakers, and cabling.

Site Camera Surveillance System

The Sierra Outdoor School does not have or require a camera surveillance system.

Recommendation: No work recommended.

Site Audio Visual System

Observation: There are approximately (9) locations at the Sierra Outdoor School that do not have an audio visual system or the current system does not meet District standards.

Recommendation: Install new complete audio visual system for each location.

Data System

Observation: The current data system is in poor condition and does not meet current District standards. Most buildings are without network capabilities. Network cabling does not have the capabilities to run high speed networks as required by District standards. Most buildings are without network capabilities.

Recommendation: (1) Data system space requires architectural improvements to meet District and industry standards.
• Install additional underground conduit infrastructure to feed all buildings. • Replace all network cabling. • Install wireless system for each building. • A new UPS is required in order to meet District standards.



Summary by Discipline and Priority

Sierra Outdoor School		1-2	3-5	6-10	TOTALS
Architectural		0	14,768,425	0	14,768,425
Electrical		257,000	0	121,000	378,000
Low Voltage		385,300	0	0	385,300
	Subtotals: \$	642,300	\$ 14,768,425	\$ 121,000	\$ 15,531,725
Contingency	5%	32,115	738,421	6,050	776,586
Haz Mat Abatement	5%	32,115	738,421	6,050	776,586
A/E Fees	10%	64,230	1,476,843	12,100	1,553,173
Testing and Inspections	5%	32,115	738,421	6,050	776,586
	Total: \$	802,875	\$ 18,460,531	\$ 151,250	\$ 19,414,656

An additional 25% was added to each project that includes the “fees” for testing, inspection, and architectural/engineering. These costs (are in addition to the project construction costs) will need to be considered when the District chooses to schedule the project.



Projects by Discipline and Sub-Categories

Sierra Outdoor School	TOTALS
Architectural	
Landscaping, Irrigation, and Play Field Improvements	262,500
Demo existing and replace staff residence trailers	2,450,000
Transportation and Parking Lot	292,500
Site Plumbing upgrades and/or replacements	8,438
Replace and/or repair roofing, roof fences and fascia	293,750
Remodel and replace equipment at Maintenance Building	1,796,875
Plumbing upgrades at Dorms	17,281
Expand and/or reconfigure Multipurpose building	1,434,375
HVAC upgrades at Dorms	45,500
Demo existing and replace outdoor amphitheater / stage	4,000
Demo existing and replace Gymnasium building	8,575,000
Demo existing and replace Classroom building	3,062,500
Asphalt and Play Court Renovations	217,813
Electrical	
Exterior Power Distribution Energy Improvements	157,500
Building Lighting Efficiency Improvements	125,000
Building Power Distribution Energy Improvements	107,500
Exterior Lighting Efficiency Improvements	82,500
Low Voltage	
Fire Alarm/Life Safety	156,250
Building Lighting Efficiency Improvements	10,000
Technology System Improvements	307,875
Building Power Distribution Energy Improvements	7,500
Total	\$ 19,414,656



Summary by Location, Priority and Special Categories

Sierra Outdoor School	1-2	3-5	6-10	H&S	DFM	ADA	EE
Site							
Technology System Improvements	170,000	0	0				
Fire Alarm/Life Safety	156,250	0	0				
Exterior Lighting Efficiency Improvements	82,500	0	0	•			•
Transportation and Parking Lot	0	292,500	0				
Site Plumbing upgrades and/or replacements	0	8,438	0				
Landscaping, Irrigation, and Play Field Improvements	0	262,500	0				
Demo existing and replace outdoor amphitheater / stage	0	4,000	0				
Asphalt and Play Court Renovations	0	217,813	0				
Exterior Power Distribution Energy Improvements	157,500	0	0				
Subtotals	\$ 566,250	\$ 785,250	\$ 0				
Administration							
Expand and/or reconfigure Multipurpose building	0	1,434,375	0				
Building Lighting Efficiency Improvements	22,500	0	0				•
Building Power Distribution Energy Improvements	16,250	0	0				•
Technology System Improvements	10,000	0	0				
Subtotals	\$ 48,750	\$ 1,434,375	\$ 0				
Bldg E							
Building Power Distribution Energy Improvements	7,500	0	0				•
Technology System Improvements	10,000	0	0				
Subtotals	\$ 17,500	\$ 0	\$ 0				
Bldg F							
Building Power Distribution Energy Improvements	7,500	0	0				•
Building Lighting Efficiency Improvements	10,000	0	0				•
Technology System Improvements	10,000	0	0				
Subtotals	\$ 27,500	\$ 0	\$ 0				
Classroom Bldgs E & F							
Demo existing and replace Classroom building	0	3,062,500	0				
Subtotals	\$ 0	\$ 3,062,500	\$ 0				
Dining Hall							
Building Power Distribution Energy Improvements	0	0	16,250				•
Technology System Improvements	10,000	0	0				
Building Lighting Efficiency Improvements	0	0	22,500				•
Subtotals	\$ 10,000	\$ 0	\$ 38,750				



Summary by Location, Priority and Special Categories

Sierra Outdoor School	1-2	3-5	6-10	H&S	DFM	ADA	EE
Dorms							
Building Lighting Efficiency Improvements	0	0	60,000				●
HVAC upgrades at Dorms	0	45,500	0				
Plumbing upgrades at Dorms	0	17,281	0				
Technology System Improvements	77,875	0	0				
Building Power Distribution Energy Improvements	0	0	52,500				●
Replace and/or repair roofing, roof fences and fascia	0	293,750	0				
Subtotals	\$ 77,875	\$ 356,531	\$ 112,500				
Gym							
Building Lighting Efficiency Improvements	10,000	0	0				●
Technology System Improvements	10,000	0	0				
Demo existing and replace Gymnasium building	0	8,575,000	0				
Building Power Distribution Energy Improvements	7,500	0	0				●
Subtotals	\$ 27,500	\$ 8,575,000	\$ 0				
Maintenance							
Remodel and replace equipment at Maintenance Building	0	1,796,875	0				
Building Power Distribution Energy Improvements	7,500	0	0				●
Building Lighting Efficiency Improvements	10,000	0	0				●
Technology System Improvements	10,000	0	0				
Subtotals	\$ 27,500	\$ 1,796,875	\$ 0				
Staff Residence Trailers							
Demo existing and replace staff residence trailers	0	2,450,000	0				
Subtotals	\$ 0	\$ 2,450,000	\$ 0				

Long Range Facility Audit 2009-2019

Clovis Unified School District • August 2009



David E. Cook Center



Maintenance and Transportation Building



General Information

Grade Level Configuration:	N/A	Overview:	The 18,400 square foot Maintenance and Transportation Building was opened in 1973, and serves to provide office, shop and storage space for the District's Custodial, Maintenance and Transportation Departments.
Enrollment Capacity:			
Site Acreage:	(included in DO West)		
Total Plan Square Footage:	18,400		

















Year Built/Renovated/Modernized

Based on available drawings and discussions with District maintenance personnel, we obtained the following information regarding year constructed and Division of the State Architect (DSA) approval for campus construction projects.

Opened: 1973
Architect: Darden

Building/Rooms:	DSA Application Number:	Approval Date:	MODERNIZATION ELIGIBILITY	
			25 Years + 12 Months:	50 Years + 12 Months:
N/A	N/A			

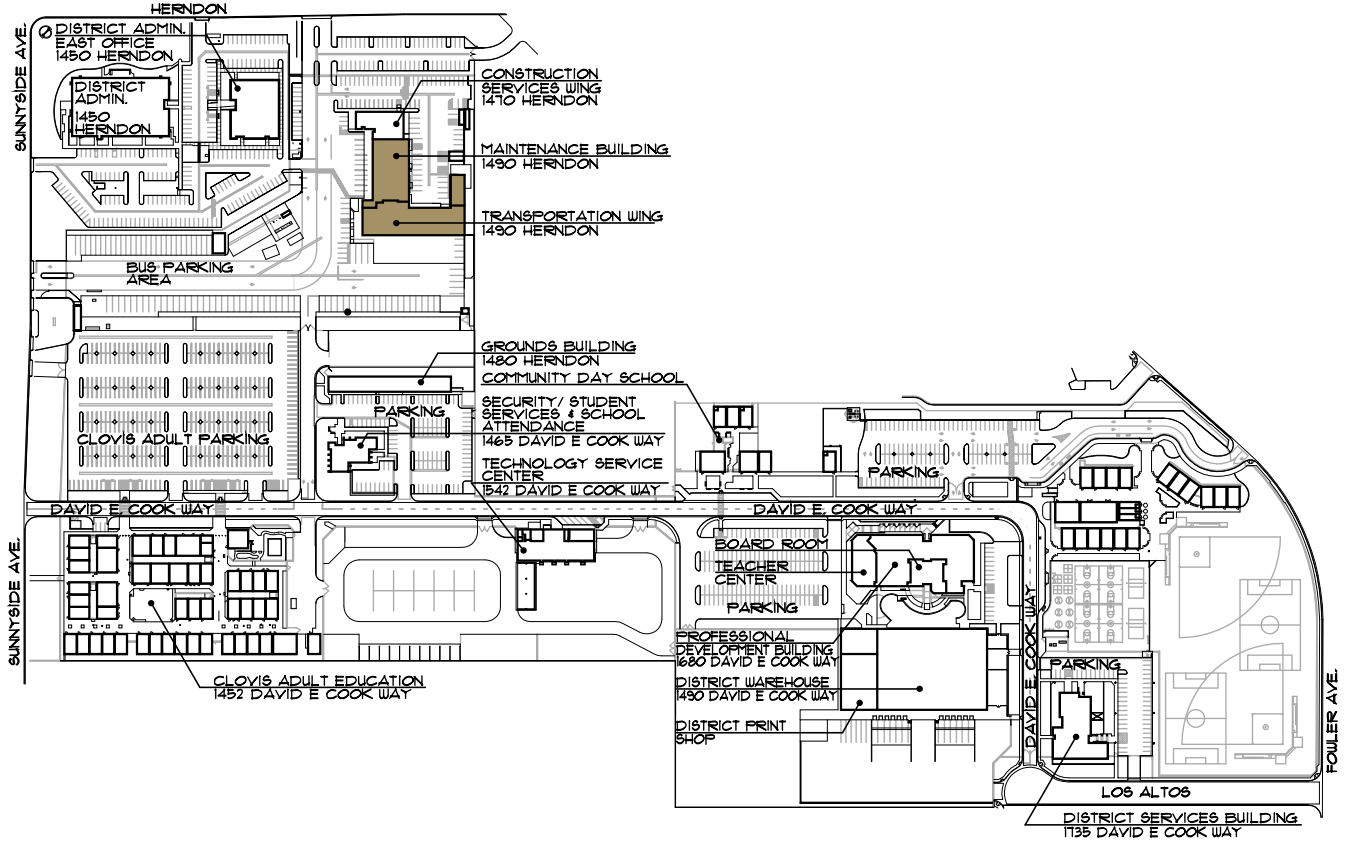
Site Plan Legend

-  Classroom Building
-  Kindergarten
-  Multipurpose Room
-  Snack Bar
-  Administration
-  Library/Media Center
-  Locker Room
-  Wrestling/Weights
-  Restroom
-  Gymnasium
-  Shop Building
-  Maintenance
-  Cluster Office
-  Storage Building
-  Concert Hall
-  Portables
-  Field House
-  Pool Office
-  Large Gym
-  Small Gym





Site Plan



Civil Engineering

ADA Compliance

Observation: The concrete condition is good. The accessible stalls are not located nearest the facility as required by code. The accessible stall signage and striping require major changes to relocate accessible stalls. ADA detectable warning surface is required in a few locations.

Recommendation: Relocate accessible stall signage and striping to nearest parking stalls as required. • Add ADA detectable warning surface at various locations.

Site Drainage

Observation: The storm drain system is in good working condition.

Recommendation: No work recommended.

Transportation Facilities

Observation: There are 158 standard parking stalls. There are 4 accessible parking stalls. There are no bicycle racks.

Recommendation: Additional accessible stalls are dependent upon employee needs as required by code. • Add bicycle racks as required by facility use.

Athletic Facilities

Observation: Not applicable.

Recommendation: Not applicable.

Landscape

Observation: There are a few locations of bare planters. There are a few locations of bare turf. Weed control is good.

Recommendation: Add shrubs, ground cover, and trees to bare planters. • Replace turf in bare areas. • Eradicate weeds as required.

Irrigation System

Observation: The irrigation system is 25 years old and has exceeded the District Standard age limit, but is still in fair working condition. Minor irrigation repairs are required in various planter areas.

Recommendation: Repair irrigation in various planter areas as required.



Architectural

Maintenance and Transportation

Observations: The building functions for its intended use and adequately provides for a quality space.

Recommendations: Refer to cost sheet for minor recommendations.

Plumbing Engineering

Maintenance and Transportation

Observations: Most plumbing fixtures meet the standard. Most fixtures are ADA compliant. Fixtures are in fair condition.

Recommendations: No modernization is required before 1-2 years. • Some ADA retrofit is suggested.

HVAC

Maintenance and Transportation

Observations: The package units do not comply with the district standard. Many do not provide OSA. The split system does not comply, but is only slightly less efficient than the standard. Some exhaust fans are operating. The shop uses evaporative coolers and space heaters. The EMS is full DDC.

Recommendations: This building is energy efficient. • No modernization is required before 6-10 years for the office areas. • The package units must be retrofitted to provide OSA. • No modernization is required for the shop areas until after 10 years.

Electrical Engineering

Site Electrical Distribution System

Observation: The Maintenance and Transportation building is connected to a shared site electrical distribution system located in back of the District Office East building. The site electrical system is in poor condition and is not compliant with current electrical codes. The site electrical distribution system does not have the capability for future growth and does not meet District standards.

Recommendation: The site electrical system main switchboard should be replaced along with feeder cables to each building's electrical distribution panel.

Site Electrical Lighting System

Observation: Parking lot lighting and exterior pathway lighting provides adequate coverage. Light fixtures are in fair condition and meet district standards.

Recommendation: The Maintenance and Transportation building is in need of surveillance lighting controls to provide adequate lighting coverage for the surveillance camera system.

Electrical Distribution system

Observation: The electrical distribution system for the Construction Services building is in good condition.

Recommendation: Only minimal replacement and/or addition of electrical outlets and breakers is recommended.

Electrical Lighting System

Observation: The electrical lighting system is in fair condition with good coverage.

Recommendation: Requires additional lighting or replacement in few locations.

Site Theatrical Lighting System

Observation: The Maintenance and Transportation building does not or require a theatrical lighting system.

Recommendation: No work recommended.

Site Sound Reinforcement System

Observation: The Maintenance and Transportation building does not or require a sound reinforcement system.

Recommendation: No work recommended.



Low Voltage

Site Fire Alarm System

Observation: The Fire Alarm system is part of a shared system located in Maintenance and Transportation building. The Fire Alarm system is not compliant with current District standards or electrical codes.

Recommendation: A new Fire Alarm system should be installed. • Fire Alarm devices and wiring should be replaced.

Site Telephone System

Observation: The Maintenance and Transportation building telephone system is part of a shared telephone system. The PBX is located in the District Office West building. The system is in fair condition but does not meet current District standards.

Recommendation: Replace telephone system, cabling, and handsets.

Site Clock System

Observation: The current clock system in the Maintenance and Transportation building does not meet district standards.

Recommendation: Replace clock system and devices.

CATV System

Observation: This site does not have a CATV system.

Recommendation: No work recommended.

Site Public Address System

Observation: The Maintenance and Transportation building public address system is in poor condition and does not meet district standards. Loudspeaker coverage is poor.

Recommendation: Replace public address system, loudspeakers, and cabling to meet the District standard.

Site Camera Surveillance System

Observation: The camera surveillance system is in fair condition and has adequate coverage. The current system does not entirely meet the District standard.

Recommendation: Replace existing system electronics and cabling.

Site Audio Visual System

Observation: There are no audio visual systems located in the maintenance and transportation building.

Recommendation: No work recommended at this time.

Data System

Observation: The current data system does not meet District or industry standards. Data system spaces do not provide adequate room or cooling. Network cabling does not have the capabilities to run high speed networks as required by District standards. The room does not have a required UPS for power backup.

Recommendation: Replace network cabling. • The data system requires a new dedicated room on both floors with a separate cooling system. • A UPS for each room is required to meet District standards



District Office West



General Information

Grade Level Configuration:	N/A	Overview:	The 21,350 square foot District Office West Building was opened in 1974 and serves to provide office, meeting and storage space for the District's Instructional, Business and Technology Departments.
Enrollment Capacity:			
Site Acreage:	60		
Total Plan Square Footage:	21,350		





















Year Built/Renovated/Modernized

Based on available drawings and discussions with District maintenance personnel, we obtained the following information regarding year constructed and Division of the State Architect (DSA) approval for campus construction projects.

Opened: 1974
Architect: Darden

Building/Rooms:	DSA Application Number:	Approval Date:	MODERNIZATION ELIGIBILITY	
			25 Years + 12 Months:	50 Years + 12 Months:
N/A	N/A			

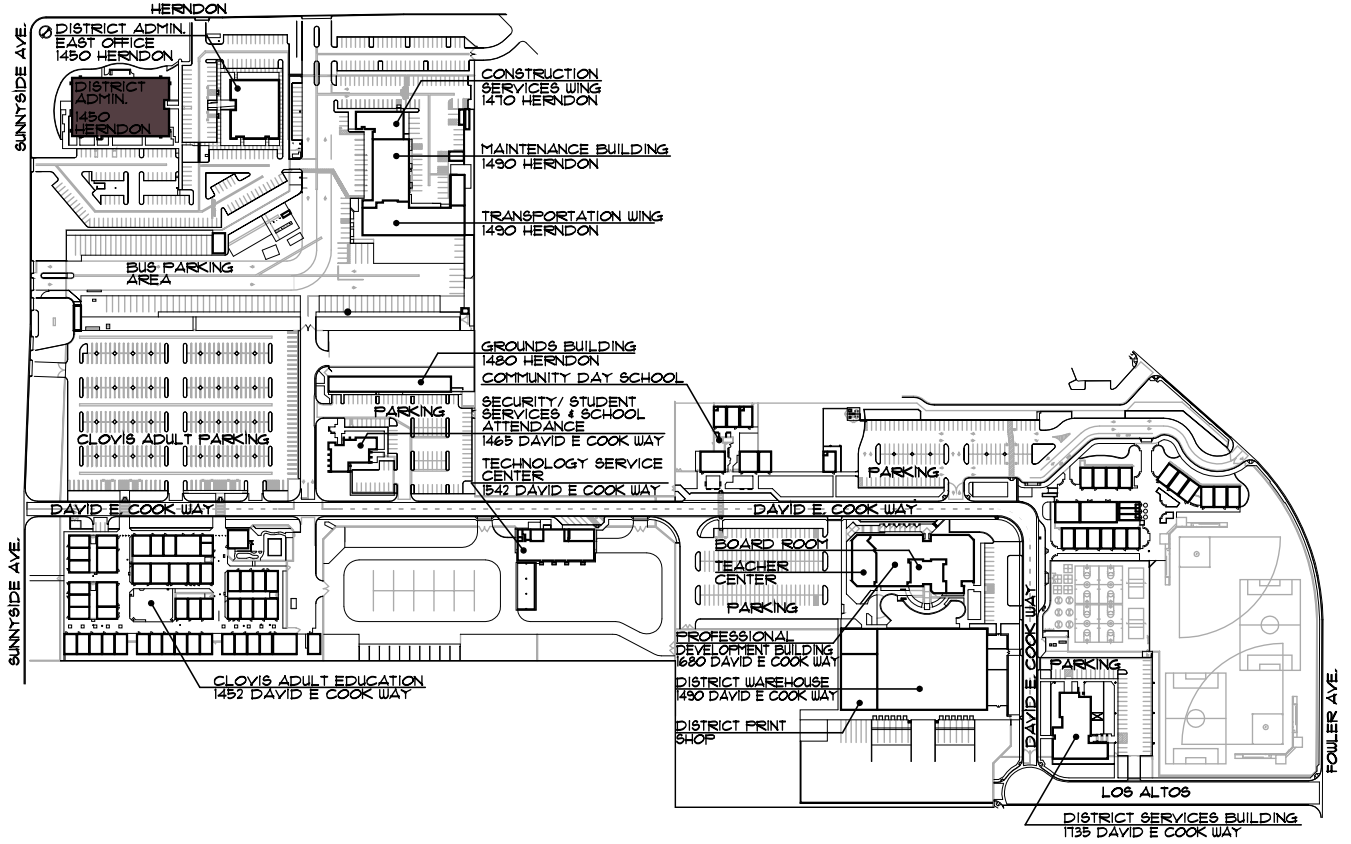
Site Plan Legend

-  Classroom Building
-  Kindergarten
-  Multi-Purpose Building
-  Snack Bar
-  Administration
-  Library/Media Center
-  Locker Room
-  Wrestling/Weights
-  Restroom
-  Gymnasium
-  Shop Building
-  Maintenance
-  Cluster Office
-  Storage Building
-  Concert Hall
-  Portables
-  Field House
-  Pool Office
-  Large Gym
-  Small Gym





Site Plan



Civil Engineering

ADA Compliance

Observation: The concrete condition is good. The accessible stalls are not located nearest the facility as required by code. The accessible stall signage and striping require major changes to relocate accessible stalls. ADA detectable warning surface is required in a few locations.

Recommendation: Relocate accessible stall signage and striping to nearest parking stalls as required. • Add ADA detectable warning surface at various locations.

Site Drainage

Observation: The storm drain system is in good working condition.

Recommendation: No work recommended.

Transportation Facilities

Observation: There are 158 standard parking stalls. There are 4 accessible parking stalls. There are no bicycle racks.

Recommendation: Additional accessible stalls are dependent upon employee needs as required by code. • Add bicycle racks as required by facility use.

Athletic Facilities

Observation: Not applicable.

Recommendation: Not applicable.

Landscape

Observation: There are a few locations of bare planters. There are a few locations of bare turf. Weed control is good.

Recommendation: Add shrubs, ground cover, and trees to bare planters. • Replace turf in bare areas. • Eradicate weeds as required.

Irrigation System

Observation: The irrigation system is 25 years old and has exceeded the District Standard age limit, but is still in fair working condition. Minor irrigation repairs are required in various planter areas.

Recommendation: Repair irrigation in various planter areas as required.



Architectural

District Office West

Observations: The building functions for its intended use and adequately provides for a quality space.

Recommendations: Refer to cost sheet for minor recommendations.

Plumbing Engineering

District Office West

Observations: Most plumbing fixtures meet the standard. Most fixtures are ADA compliant. Fixtures are in good condition.

Recommendations: No modernization is required until after 10 years. • No ADA retrofit is suggested. • Some fixtures may be replaced to save water.

HVAC

District Office West

Observations: Most package units comply with the district standard. The split system does not, but is slightly less efficient than the standard. All exhaust fans are operating. The data room uses separate cooling. The EMS is full DDC.

Recommendations: This building is energy efficient. • No modernization is required before 6-10 years. • Complaints of too hot or cold were reviewed. • A re-balance of ductwork and air supply may need to be addressed.

Electrical Engineering

Site Electrical Distribution System

Observation: The District Office West building is connected to a shared site electrical distribution system located in back of the District Office East building. The site electrical system is old and worn. The site electrical distribution system does not have the capability for future growth and does not meet district standards.

Recommendation: The site electrical system main switchboard should be replaced along with feeder cables to each building's electrical distribution panel.

Site Electrical Lighting System

Observation: Parking lot lighting and exterior pathway lighting provides adequate coverage. Light fixtures are in fair condition and meet district standards.

Recommendation: The District Office West building is in need of surveillance lighting controls to provide adequate lighting coverage for the surveillance camera system.

Electrical Distribution system

Observation: The electrical distribution system for the District Office building is in good condition but does not have the ability to accommodate future needs.

Recommendation: Install new generator and electrical panel to support District data center.

Electrical Lighting System

Observation: The electrical lighting system is in good condition with good coverage.

Recommendation: No work recommended at this time.

Site Theatrical Lighting System

Observation: The District Office West building does not have or require a theatrical lighting system.

Recommendation: No work recommended.

Site Sound Reinforcement System

Observation: The District Office West building does not have or require a sound reinforcement system.

Recommendation: No work recommended.



Low Voltage

Site Fire Alarm System

Observation: The District Office West building Fire Alarm system meets current District standards.

Recommendation: No work recommended.

Site Telephone System

Observation: The District Office West building telephone system is part of a shared telephone system. The PBX is located in the District Office West building. The current telephone system is in fair condition but does not meet current District standards.

Recommendation: Replace telephone system, cabling, and handsets.

Site Clock System

Observation: The current clock system in the District Office West building does not meet district standards.

Recommendation: Replace clock system and devices.

CATV System

Observation: There is no CATV system at this site.

Recommendation: No work recommended.

Site Public Address System

Observation: The District Office West building has a small public address system that is not District standard but is rarely used.

Recommendation: Leave current system in place until the District has the need for expanded capabilities.

Site Camera Surveillance System

Observation: The camera surveillance system is in fair condition and has adequate coverage. The current system does not entirely meet the District standard.

Recommendation: Replace existing system electronics and cabling.

Site Audio Visual System

Observation: There are (2) locations in the District Office West Building that do not meet District standards.

Recommendation: Replace projector and projector screen. Install new audio visual controls, loudspeakers, and wiring.

Data System

Observation: The current Data Center space is not large enough for the needs of future growth. The Uninterruptible power supply will not handle the needs of future growth. Two other data system spaces do not meet District standards.

Recommendation: All data system spaces require architectural changes and the size of the Data Center room needs to be expanded. • The Data Center UPS system should be replaced to accommodate future needs. • Additional cooling systems need to be installed within all data system spaces for adequate conditioning.



District Office East



General Information

Grade Level Configuration:	N/A	Overview:	The 10,861 square foot District Office East Building was opened in 2005, and serves to provide office, conference space and storage space for the District's Human Resources, Departments.
Enrollment Capacity:			
Site Acreage:	(included in DO West)		
Total Plan Square Footage:	10,861		





















Year Built/Renovated/Modernized

Based on available drawings and discussions with District maintenance personnel, we obtained the following information regarding year constructed and Division of the State Architect (DSA) approval for campus construction projects.

Opened: 2003
Architect: Darden

Building/Rooms:	DSA Application Number:	Approval Date:	MODERNIZATION ELIGIBILITY	
			25 Years + 12 Months:	50 Years + 12 Months:
N/A	N/A			

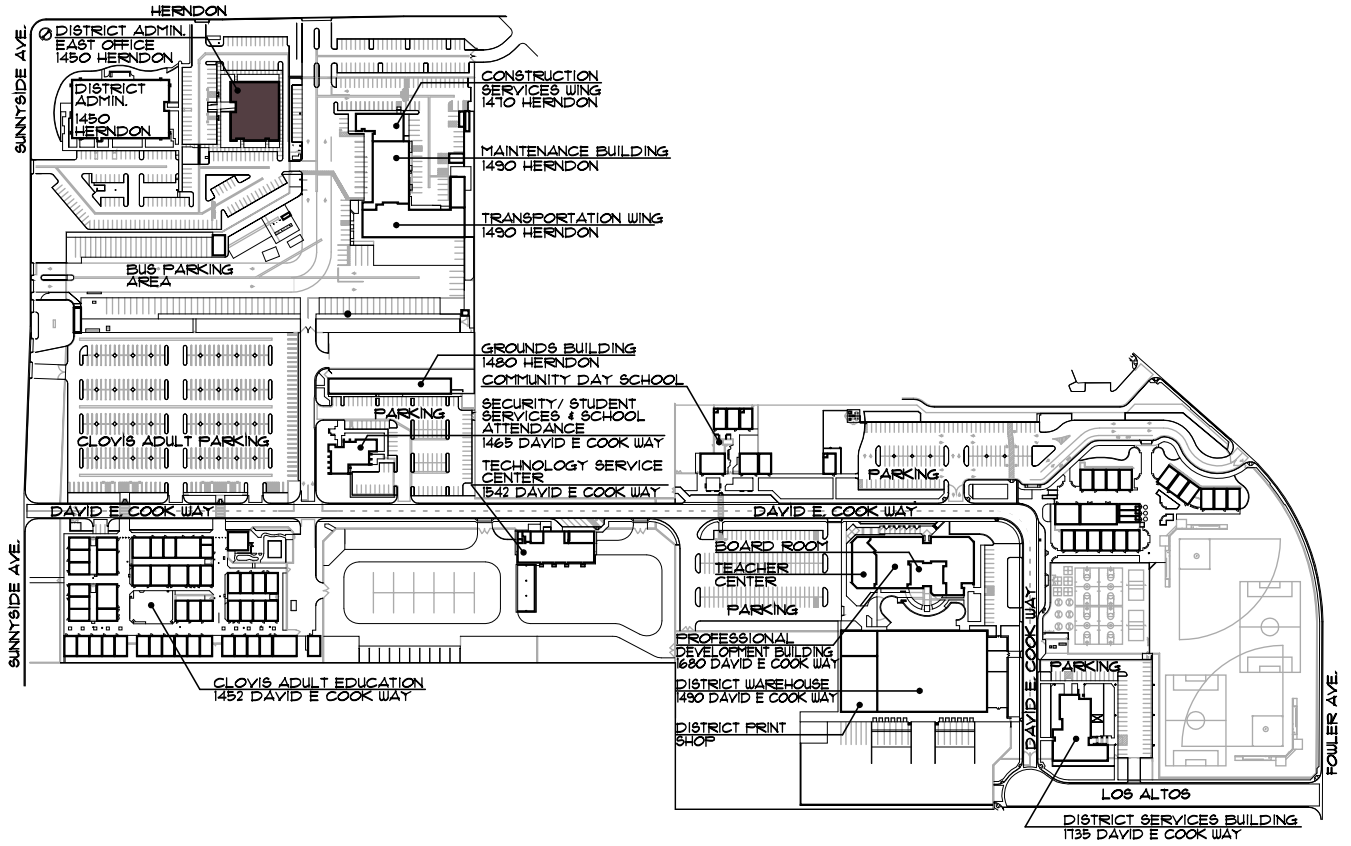
Site Plan Legend

-  Classroom Building
-  Kindergarten
-  Multipurpose Room
-  Snack Bar
-  Administration
-  Library/Media Center
-  Locker Room
-  Wrestling/Weights
-  Restroom
-  Gymnasium
-  Shop Building
-  Maintenance
-  Cluster Office
-  Storage Building
-  Concert Hall
-  Field House
-  Pool Office
-  Portables
-  Large Gym
-  Small Gym





Site Plan



Civil Engineering

ADA Compliance

Observation: The concrete condition is good. There are locations where cross-slope does not meet ADA requirements. The curb ramps do not meet ADA requirements. The accessible stall signage and striping require minor changes. ADA detectable warning surface is required in various locations.

Recommendation: Reconstruct concrete improvements to meet ADA slope requirements. • Reconstruct curb ramps to meet ADA requirements. • Add accessible stall signage and striping as required. • Add ADA detectable warning surface at various locations.

Site Drainage

Observation: The storm drain system is in good working condition.

Recommendation: No work recommended.

Transportation Facilities

Observation: There are 69 standard parking stalls. There are 4 accessible parking stalls. There are no bicycle racks.

Recommendation: No additional accessible stalls are required to meet ADA requirements. • Add bicycle racks as required by facility use.

Athletic Facilities

Observation: Not applicable.

Recommendation: Not applicable.

Landscape

Observation: There are a few locations of bare planters. There are a few locations of bare turf. Weed control is good.

Recommendation: Add shrubs, ground cover, and trees to bare planters. • Replace turf in bare areas. • Eradicate weeds as required.

Irrigation System

Observation: The irrigation system is 10 years old and is in good working condition. Minor irrigation repairs are required in various planter areas.

Recommendation: Repair irrigation in various planter areas as required.



Architectural

District Office East

Observations: The building functions for its intended use and adequately provides for a quality space.

Recommendations: None.

Plumbing Engineering

District Office East

Observations: All plumbing fixtures meet the standard. Most fixtures are ADA compliant. Fixtures are in good condition.

Recommendations: No modernization is required until after 10 years. • No ADA retrofit is suggested.

HVAC

District Office East

Observations: Most package units comply with the district standard. The split system does not, but is only slightly less efficient than the standard. All exhaust fans are operating. The data room uses separate cooling. The EMS is full DDC.

Recommendations: This building is very energy efficient. • No modernization is required until after 10 years.

Electrical Engineering

Site Electrical Distribution System

Observation: The District Office East building is connected to a shared site electrical distribution system located in back of the District Office East building. The site electrical system is in poor condition and is not compliant with current electrical codes. The site electrical distribution system does not have the capability for future growth and does not meet District standards.

Recommendation: The site electrical system main switchboard should be replaced along with feeder cables to each building's electrical distribution panel.

Site Electrical Lighting System

Observation: Parking lot lighting and exterior pathway lighting provides adequate coverage. Light fixtures are in fair condition and meet district standards.

Recommendation: The District Office East building is in need of surveillance lighting controls to provide adequate lighting coverage for the surveillance camera system.

Electrical Distribution system

Observation: The electrical distribution system for the District Office East building is in good condition.

Recommendation: Only minimal replacement and/or addition of electrical outlets and breakers is recommended.

Electrical Lighting System

Observation: The electrical lighting system is in good condition with good coverage.

Recommendation: No work recommended.

Site Theatrical Lighting System

Observation: The District Office East building does not have or require a theatrical lighting system.

Recommendation: No work recommended.

Site Sound Reinforcement System

Observation: The District Office East building does not have or require a sound reinforcement system.

Recommendation: No work recommended.



Low Voltage

Site Fire Alarm System

Observation: The Fire Alarm system is fairly new and meets District standards.

Recommendation: No work recommended at this time.

Site Telephone System

Observation: The District Office East telephone system is part of a shared telephone system. The PBX is located in the District Office West building. The system is in fair condition but does not meet current District standards. Some telephone cabling does not meet industry standards.

Recommendation: Replace telephone system, cabling, and handsets.

Site Clock System

Observation: The current clock system in the District Office East building does not meet district standards.

Recommendation: Replace clock system and devices.

CATV System

Observation: The District Office East building does not have a CATV system.

Recommendation: No work recommended.

Site Public Address System

Observation: The District Office East building does not have a public address system.

Recommendation: No work recommended at this time.

Site Camera Surveillance System

Observation: The camera surveillance system is in fair condition and has adequate coverage. The current system does not entirely meet the District standard.

Recommendation: Replace existing system electronics and cabling.

Site Audio Visual System

Observation: There are (2) locations in the District Office East Building that do not meet District standards.

Recommendation: Replace projector and projector screen. • Install new audio visual controls, loudspeakers, and wiring.

Data System

Observation: The current data system is fairly new and meets District standards.

Recommendation: No work recommended at this time.



Grounds Building



General Information

Grade Level Configuration: N/A

Enrollment Capacity:

Site Acreage: (included in DO West)

Total Plan Square Footage: 7,200

Overview: The 7,200 square foot Grounds Building was opened in 1988, and serves to provide office, shop and storage space for the District's Grounds Department.








Year Built/Renovated/Modernized

Based on available drawings and discussions with District maintenance personnel, we obtained the following information regarding year constructed and Division of the State Architect (DSA) approval for campus construction projects.

Opened: 1988
Architect: Darden

Building/Rooms:	DSA Application Number:	Approval Date:	MODERNIZATION ELIGIBILITY	
			25 Years + 12 Months:	50 Years + 12 Months:
N/A	N/A			

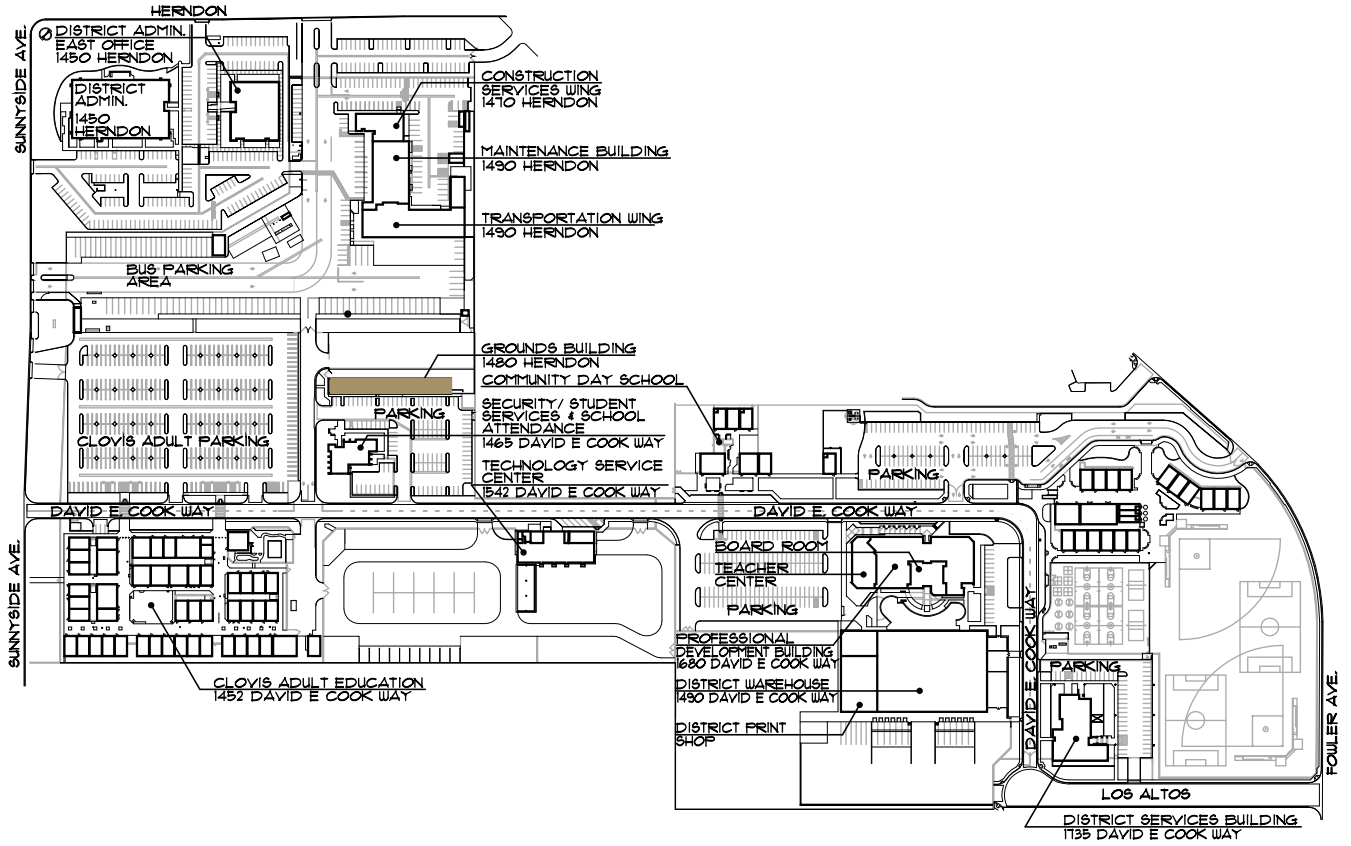
Site Plan Legend

-  Classroom Building
-  Kindergarten
-  Multipurpose Room
-  Snack Bar
-  Administration
-  Library/Media Center
-  Locker Room
-  Wrestling/Weights
-  Restroom
-  Gymnasium
-  Shop Building
-  Maintenance
-  Cluster Office
-  Storage Building
-  Concert Hall
-  Field House
-  Pool Office
-  Portables
-  Large Gym
-  Small Gym





Site Plan



Civil Engineering

ADA Compliance

Observation: The concrete condition is good. Gate hardware modifications are required to meet ADA requirements. There are no accessible parking stalls.

Recommendation: Provide accessible stall signage and striping with accessible curb ramp, path of travel, and gate hardware.

Site Drainage

Observation: The storm drain system is in good working condition.

Recommendation: No work recommended.

Transportation Facilities

Observation: There are 58 standard parking stalls. There are 0 accessible parking stalls. There are no bicycle racks.

Recommendation: 2 additional accessible stalls are recommended. • Additional accessible stalls are dependent upon employee needs as required by code. • Add bicycle racks as required by facility use.

Athletic Facilities

Observation: Not applicable.

Recommendation: Not applicable.

Landscape

Observation: There are a few locations of bare planters. There are a few locations of bare turf. Weed control is good.

Recommendation: Add shrubs, ground cover, and trees to bare planters. • Replace turf in bare areas. • Eradicate weeds as required.

Irrigation System

Observation: The irrigation system is 20 years old and has reached the District Standard age limit, but is still in good working condition. Minor irrigation repairs are required in various planter areas.

Recommendation: Repair irrigation in various planter areas as required.



Architectural

Grounds Building

Observations: The building functions for its intended use and adequately provides for a quality space.

Recommendations: Refer to cost sheet for minor recommendations.

Plumbing Engineering

Grounds Building

Observations: Most plumbing fixtures meet the standard. All fixtures are ADA compliant. Fixtures are in good condition.

Recommendations: No modernization is required until after 10 years. • No ADA retrofit is suggested. • Some fixtures may be replaced to save water.

HVAC

Grounds Building

Observations: Most package units comply with the district standard. The split system does not, but is only slightly less efficient than the standard. All exhaust fans are operating. The shop uses evaporative coolers and space heaters. The EMS is full DDC.

Recommendations: This building is energy efficient. • No modernization is required before 3-5 years.

Electrical Engineering

Site Electrical Distribution System

Observation: The Grounds building is connected to a shared site electrical distribution system located in back of the District Office East building. The site electrical system is in poor condition and is not compliant with current electrical codes. The site electrical distribution system does not have the capability for future growth and does not meet District standards.

Recommendation: The site electrical system main switchboard should be replaced along with feeder cables to each building's electrical distribution panel.

Site Electrical Lighting System

Observation: Parking lot lighting and exterior pathway lighting provides adequate coverage. Light fixtures are in fair condition and meet district standards.

Recommendation: The Grounds building is in need of surveillance lighting controls to provide adequate lighting coverage for the surveillance camera system.

Electrical Distribution system

Observation: The electrical distribution system for the Grounds building is in fair condition.

Recommendation: Only minimal replacement and/or addition of electrical outlets and breakers is recommended.

Electrical Lighting System

Observation: The electrical lighting system is in fair condition with good coverage.

Recommendation: No work recommended at this time.

Site Theatrical Lighting System

Observation: The Grounds building does not have or require a theatrical lighting system.

Recommendation: No work recommended.

Site Sound Reinforcement System

Observation: The Grounds building does not have or require a sound reinforcement system.

Recommendation: No work recommended.



Low Voltage

Site Fire Alarm System

Observation: The Fire Alarm system is in good condition and meets District standards.

Recommendation: No work recommended.

Site Telephone System

Observation: The Grounds building telephone system is part of a shared telephone system. The PBX is located in the District Office West building. The system is in fair condition but does not meet current District standards. Some telephone cabling does not meet industry standards.

Recommendation: Replace telephone system, cabling, and handsets.

Site Clock System

Observation: The current clock system in the Grounds building does not meet District standards.

Recommendation: Replace clock system and devices.

CATV System

Observation: This site does not have a CATV system.

Recommendation: No work recommended.

Site Public Address System

Observation: The Grounds building has a small public address system in fair condition but does not meet District standards.

Recommendation: The public address system, loudspeakers, and cabling should be replaced in the future but not required at this time.

Site Camera Surveillance System

Observation: The camera surveillance system is in fair condition and has adequate coverage. The current system does not entirely meet the District standard.

Recommendation: Replace existing system electronics and cabling.

Site Audio Visual System

Observation: There are no audio visual systems located in the Grounds building.

Recommendation: No work recommended at this time.

Data System

Observation: The current data system does not meet District standards. the data room does not provide adequate room, cooling, or security. The data room does not have a UPS for power backup.

Recommendation: Replace network cabling. • The data system requires a new dedicated room with a separate cooling system. • Requires a new UPS to meet District standards.



Security and Attendance Building



General Information

Grade Level Configuration:	N/A	Overview: The 4,395 square foot Security and Attendance Building was opened in 1993, and serves to provide office, meeting and secured storage space for the District's Attendance and Police Departments.
Enrollment Capacity:		
Site Acreage:	(included in DO West)	
Total Plan Square Footage:	4,395	

















Year Built/Renovated/Modernized

Based on available drawings and discussions with District maintenance personnel, we obtained the following information regarding year constructed and Division of the State Architect (DSA) approval for campus construction projects.

Opened: 1993
Architect: Darden

Building/Rooms:	DSA Application Number:	Approval Date:	MODERNIZATION ELIGIBILITY	
			25 Years + 12 Months:	50 Years + 12 Months:
N/A	N/A			

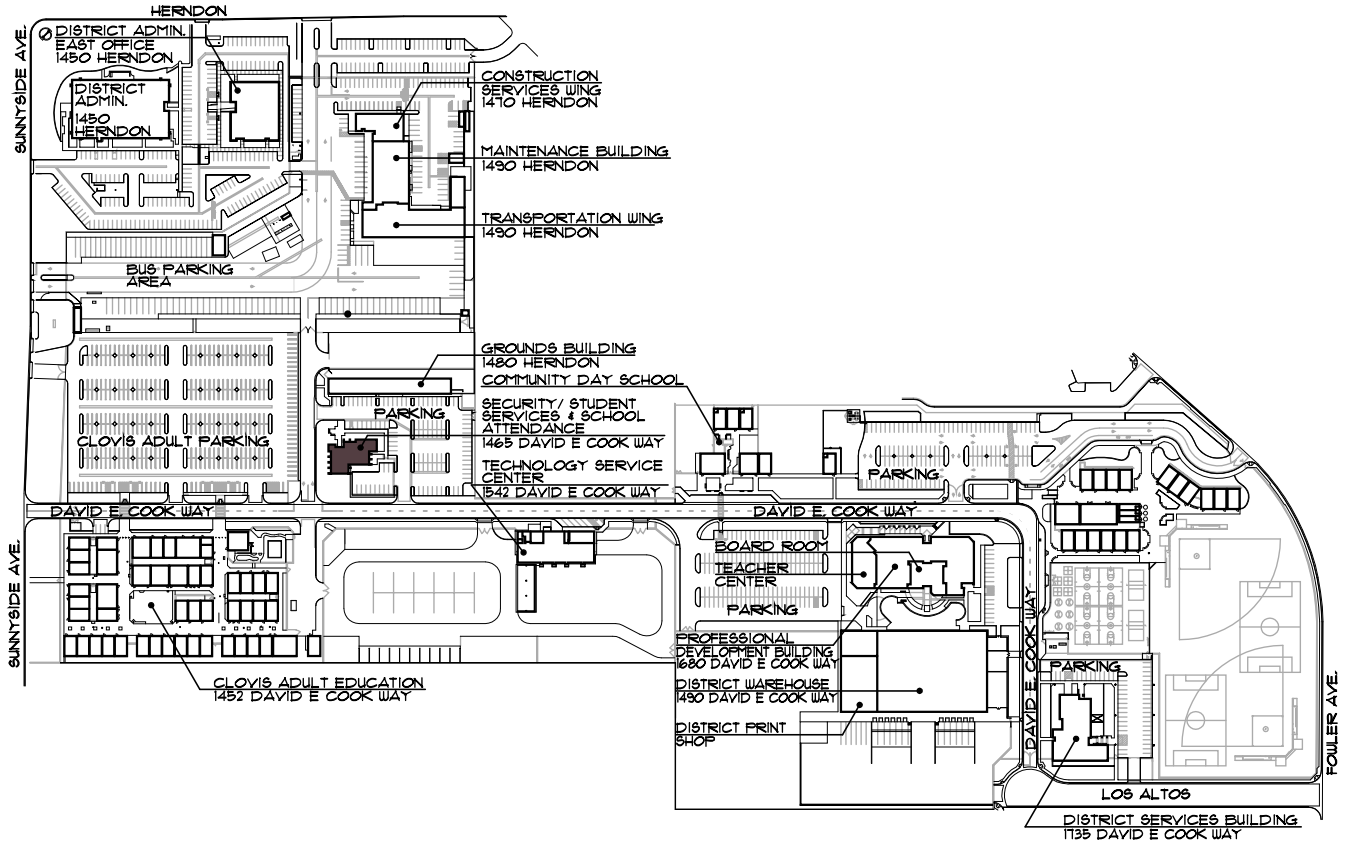
Site Plan Legend

-  Classroom Building
-  Kindergarten
-  Multipurpose Room
-  Snack Bar
-  Administration
-  Library/Media Center
-  Locker Room
-  Wrestling/Weights
-  Restroom
-  Gymnasium
-  Shop Building
-  Maintenance
-  Cluster Office
-  Storage Building
-  Concert Hall
-  Field House
-  Pool Office
-  Portables
-  Large Gym
-  Small Gym





Site Plan



Civil Engineering

ADA Compliance

Observation: The concrete condition is good. The curb ramps do not meet ADA requirements. The accessible stall signage and striping require minor changes. ADA detectable warning surface is required in various locations.

Recommendation: Reconstruct curb ramps to meet ADA requirements. • Add accessible stall signage and striping as required. • Add ADA detectable warning surface at various locations.

Site Drainage

Observation: The storm drain system is in good working condition.

Recommendation: No work recommended.

Transportation Facilities

Observation: There are 52 standard parking stalls. There are 2 accessible parking stalls. There are no bicycle racks.

Recommendation: Additional accessible stalls are dependent upon employee needs as required by code. • Add bicycle racks as required by facility use.

Athletic Facilities

Observation: Not applicable.

Recommendation: Not applicable.

Landscape

Observation: There are a few locations of bare planters. There are few a locations of bare turf. Weed control is good.

Recommendation: Add shrubs, ground cover, and trees to bare planters. • Replace turf in bare areas. • Eradicate weeds as required.

Irrigation System

Observation: The irrigation system is 20 years old and has reached the District Standard age limit, but is still in good working condition. Minor irrigation repairs are required in various planter areas.

Recommendation: Repair irrigation in various planter areas as required.



Architectural

Security & Attendance

Observations: The building functions for its intended use and adequately provides for a quality space.

Recommendations: Refer to cost sheet for minor recommendations.

Plumbing Engineering

Security & Attendance

Observations: Most plumbing fixtures meet the standard. All fixtures are ADA compliant. Fixtures are in good condition.

Recommendations: No modernization is required until after 10 years. • No ADA retrofit is suggested. • Some fixtures may be replaced to save water.

HVAC

Security & Attendance

Observations: Most package units comply with the district standard. The split system does not, but is only slightly less efficient than the standard. All exhaust fans are operating. The EMS is full DDC.

Recommendations: This building is very energy efficient. • No modernization is required until after 10 years.

Electrical Engineering

Site Electrical Distribution System

Observation: The Security and Attendance building is connected to a shared site electrical distribution system located in back of the District Office East building. The site electrical system is in poor condition and is not compliant with current electrical codes. The site electrical distribution system does not have the capability for future growth and does not meet District standards.

Recommendation: The site electrical system main switchboard should be replaced along with feeder cables to each building's electrical distribution panel.

Site Electrical Lighting System

Observation: Parking lot lighting and exterior pathway lighting provides adequate coverage. Light fixtures are in fair condition and meet district standards.

Recommendation: The Security and Attendance building is in need of surveillance lighting controls to provide adequate lighting coverage for the surveillance camera system.

Electrical Distribution system

Observation: The electrical distribution system for the Security and Attendance building is in good condition.

Recommendation: Only minimal replacement and/or addition of electrical outlets and breakers is recommended.

Electrical Lighting System

Observation: The electrical lighting system is in good condition with adequate lighting coverage.

Recommendation: No work recommended at this time.

Site Theatrical Lighting System

Observation: The Security and Attendance building does not have or need a theatrical lighting system.

Recommendation: No work recommended at this time.

Site Sound Reinforcement System

Observation: The Security and Attendance building does not have or need a sound reinforcement system.

Recommendation: No work recommended at this time.



Low Voltage

Site Fire Alarm System

Observation: The Fire Alarm system is in good condition and meets district standards.

Recommendation: No work recommended at this time.

Site Telephone System

Observation: The Security and Attendance building telephone system is part of a shared telephone system located in the District Office West building. The system is in fair condition but does not meet current District standards. Some telephone cabling does not meet industry standards.

Recommendation: Replace telephone system, cabling, and handsets.

Site Clock System

Observation: The current clock system in the Security and Attendance building does not meet district standards.

Recommendation: Replace clock system and devices.

CATV System

Observation: This site does not have a CATV system.

Recommendation: No work recommended.

Site Public Address System

Observation: The Security and Attendance building does not have a public address system.

Recommendation: No work recommended.

Site Camera Surveillance System

Observation: The Camera Surveillance system is in fair condition and has adequate coverage. The current system does not entirely meet the District standard.

Recommendation: Replace existing system electronics and cabling.

Site Audio Visual System

Observation: There is (1) location in the Security and Attendance building that does not meet District standards.

Recommendation: Replace projector and projector screen. • Install new A/V controls, loudspeakers, and wiring.

Data System

Observation: The current data system does not meet District standards. the data system space does not provide adequate room, cooling, or security. Data cabling does not match District standards. The data room does not have the required UPS for power backup.

Recommendation: Replace network cabling. • The data system requires a new room with a separate cooling system. • Requires a UPS to meet District standards.



Warehouse and Graphic Arts Building



General Information

Grade Level Configuration:	N/A	Overview:	The 34,937 square foot District Warehouse/Graphic Arts Building was opened in 1995 and serve to provide shipping and receiving, storage, and office space for the Warehouse Departments.
Enrollment Capacity:			
Site Acreage:	(included in DO West)		
Total Plan Square Footage:	34,937		

















Year Built/Renovated/Modernized

Based on available drawings and discussions with District maintenance personnel, we obtained the following information regarding year constructed and Division of the State Architect (DSA) approval for campus construction projects.

Opened: 1995
Architect: Darden

Building/Rooms:	DSA Application Number:	Approval Date:	MODERNIZATION ELIGIBILITY	
			25 Years + 12 Months:	50 Years + 12 Months:
N/A	N/A			

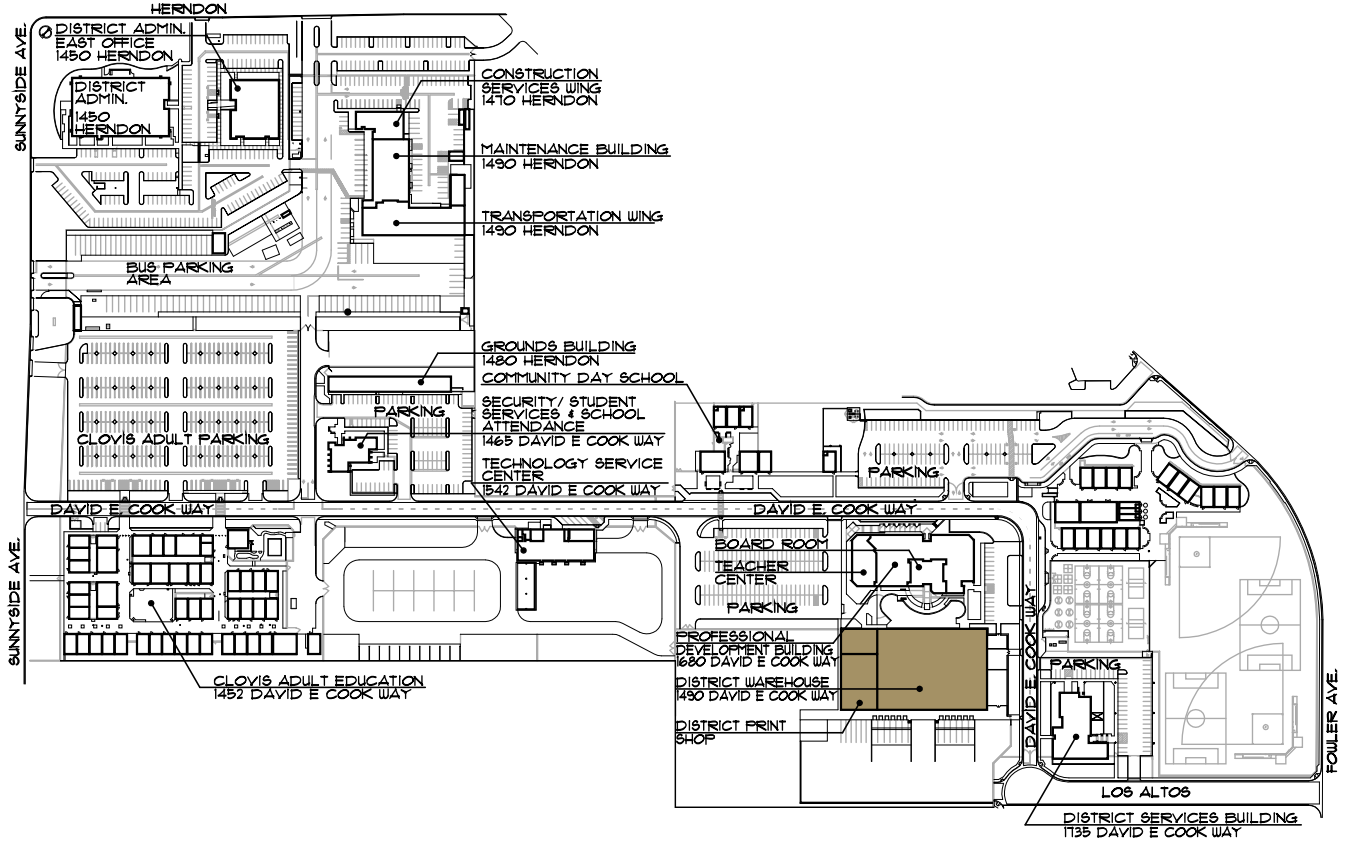
Site Plan Legend

-  Classroom Building
-  Kindergarten
-  Multipurpose Room
-  Snack Bar
-  Administration
-  Library/Media Center
-  Locker Room
-  Wrestling/Weights
-  Restroom
-  Gymnasium
-  Shop Building
-  Maintenance
-  Cluster Office
-  Storage Building
-  Concert Hall
-  Field House
-  Pool Office
-  Portables
-  Large Gym
-  Small Gym





Site Plan



Civil Engineering

ADA Compliance

Observation: The concrete condition is good. ADA gates are required for sidewalk access. ADA detectable warning surface is required at curb ramps.

Recommendation: Add ADA gates. • Add ADA detectable warning surface at curb ramps.

Site Drainage

Observation: The storm drain system is in good working condition.

Recommendation: No work recommended.

Transportation Facilities

Observation: There are 6 large truck parking stalls. There are 0 accessible parking stalls. There are no bicycle racks.

Recommendation: Additional accessible stalls are dependent upon employee needs as required by code. • Add bicycle racks as required by facility use.

Athletic Facilities

Observation: Not applicable.

Recommendation: Not applicable.

Landscape

Observation: There are a few locations of bare planters. There are a few locations of bare turf. Weed control is good.

Recommendation: Add shrubs, ground cover, and trees to bare planters. • Replace turf in bare areas. • Eradicate weeds as required.

Irrigation System

Observation: The irrigation system is 15 years old and is in good working condition. Moderate irrigation repairs are required in various planter areas.

Recommendation: Repair irrigation in various planter areas as required.



Architectural

Warehouse and Graphic Arts

Observations: The building functions for its intended use and adequately provides for a quality space except for the metal roof. The entire metal roof on this building is in need of replacement.

Recommendations: Replace the entire metal roof on this building with a new metal roof.

Plumbing Engineering

Warehouse and Graphic Arts

Observations: Most plumbing fixtures meet the standard. Most fixtures are ADA compliant. Fixtures are in good condition.

Recommendations: No modernization is required before 3-5 years. • Some fixtures may be replaced to save water.

HVAC

Warehouse and Graphic Arts

Observations: The package units do not comply with the district standard. The data room does not have separate cooling. The refrigerant lines to the cooling units for the walk-in cooler and freezer have rotted insulation and no aluminum jacketing for protection. This is wasting energy. The EMS is full DDC

Recommendations: This building is not energy efficient. • This building would benefit from the installation of high efficiency package units. • Separate cooling must be added to the data room. • The staff complained of problems with the walk-in cooler and freezer. • They would benefit from separate units installed with new insulation and jacketing. • No modernization is required before 3-5 years.

Electrical Engineering

Site Electrical Distribution System

Observation: The Warehouse and Graphic Arts building site electrical distribution system meets district standards. The main switchboard is capable of handling future power requirements. The site electrical distribution system is a shared system located in back of the warehouse.

Recommendation: No work recommended.

Site Electrical Lighting System

Observation: Parking lot lighting and exterior pathway lighting provides adequate coverage. Light fixtures are in fair condition and meet district standards.

Recommendation: The Warehouse and Graphic Arts building is in need of surveillance lighting controls to provide adequate lighting coverage for the surveillance camera system.

Electrical Distribution system

Observation: The electrical distribution system for the Warehouse and Graphic Arts building is in good condition.

Recommendation: Only minimal replacement and/or addition of electrical outlets and breakers are recommended.

Electrical Lighting System

Observation: The electrical lighting system is in good condition with adequate lighting coverage.

Recommendation: No work recommended at this time.

Site Theatrical Lighting System

Observation: The Warehouse and Graphic Arts building does not have or require a theatrical lighting system.

Recommendation: No work recommended.

Site Sound Reinforcement System

Observation: The Warehouse and Graphic Arts building does not have or require a sound and reinforcement system.

Recommendation: No work recommended.



Low Voltage

Site Fire Alarm System

Observation: The Fire Alarm system is in good condition and meets current District standards.

Recommendation: Replacement of few devices may be required.

Site Telephone System

Observation: The Warehouse and Graphic Arts building telephone system is part of a shared telephone system. The PBX is located in the District Office West building. The system is in fair condition but does not meet current District standards.

Recommendation: Replace telephone system, cabling, and handsets.

Site Clock System

Observation: The current clock system in the Warehouse and Graphic Arts building does not meet district standards.

Recommendation: Replace clock system and devices.

CATV System

Observation: This site does not have a CATV system.

Recommendation: No work recommended.

Site Public Address System

Observation: The Warehouse and Graphic Arts building has a small public address system in fair condition but does not meet District standards.

Recommendation: The public address system, loudspeakers, and cabling should be replaced in the future but not required at this time.

Site Camera Surveillance System

Observation: The camera surveillance system is in fair condition and has adequate coverage. The current system does not entirely meet the District standard.

Recommendation: Replace existing system electronics and cabling.

Site Audio Visual System

Observation: There are no audio visual systems located in the Warehouse and Graphic Arts building.

Recommendation: No work recommended.

Data System

Observation: The current data system does not meet District standards. The data system space does not provide adequate room and cooling. Network cabling does not have the capabilities to run high speed networks as required by District standards. The data room does not have the required UPS for power backup.

Recommendation: Replace network cabling. • The data system requires a new dedicated room with a separate cooling system. • Requires a new UPS to meet District standards.



District Services Building



General Information

Grade Level Configuration: N/A

Enrollment Capacity:

Site Acreage: (included in DO West)

Total Plan Square Footage: 9,540

Overview: The 9,540 square foot District Services Building was opened in 1998, and serves to provide office, shop and storage space for the District's Early Childhood, Campus Club Administrative Offices.





















Year Built/Renovated/Modernized

Based on available drawings and discussions with District maintenance personnel, we obtained the following information regarding year constructed and Division of the State Architect (DSA) approval for campus construction projects.

Opened: 1998
Architect: Darden

Building/Rooms:	DSA Application Number:	Approval Date:	MODERNIZATION ELIGIBILITY	
			25 Years + 12 Months:	50 Years + 12 Months:
N/A	N/A			

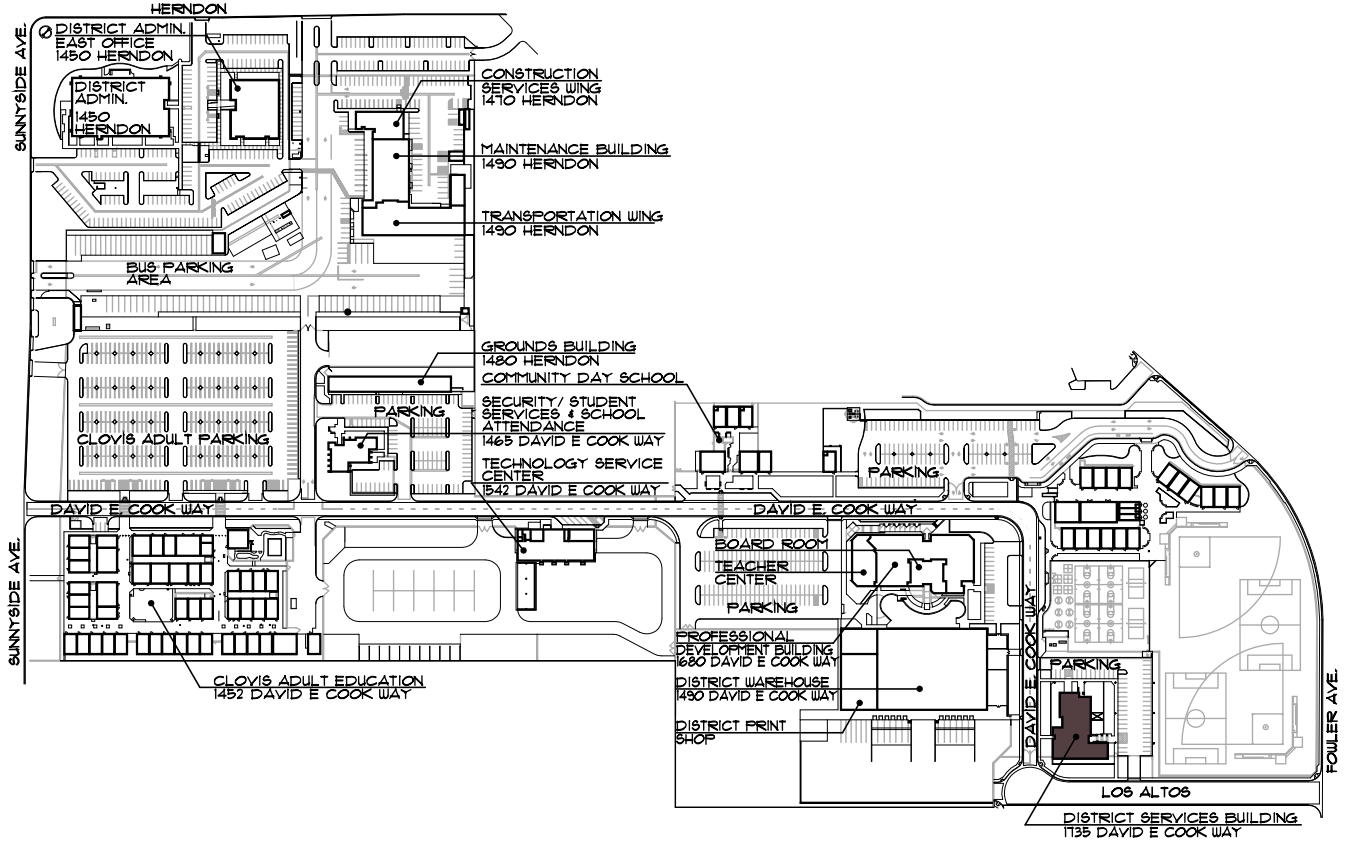
Site Plan Legend

-  Classroom Building
-  Kindergarten
-  Multipurpose Room
-  Snack Bar
-  Administration
-  Library/Media Center
-  Locker Room
-  Wrestling/Weights
-  Restroom
-  Gymnasium
-  Shop Building
-  Maintenance
-  Cluster Office
-  Storage Building
-  Concert Hall
-  Field House
-  Pool Office
-  Portables
-  Large Gym
-  Small Gym





Site Plan



Civil Engineering

ADA Compliance

Observation: The concrete condition is fair. The sidewalk has sunken in one location. An ADA compliant gate is required for sidewalk access. ADA detectable warning surface is required at various locations.

Recommendation: Reconstruct sidewalk around sunken location. • Add accessible gate. • Add ADA detectable warning surface at various locations.

Site Drainage

Observation: The storm drain system is in good working condition. There are minor puddles in planter areas.

Recommendation: No work recommended.

Transportation Facilities

Observation: There are 49 standard parking stalls. There are 2 accessible parking stalls. There are no bicycle racks.

Recommendation: Additional accessible stalls are dependent upon employee needs as required by code. • Add bicycle racks as required by facility use.

Athletic Facilities

Observation: Not applicable.

Recommendation: Not applicable.

Landscape

Observation: There are a few locations of bare planters. There are a few locations of bare turf. Weed control is good.

Recommendation: Add shrubs, ground cover, and trees to bare planters. • Replace turf in bare areas. • Eradicate weeds as required.

Irrigation System

Observation: The irrigation system is 6 years old and is in good working condition. Moderate irrigation repairs are required in various planter areas.

Recommendation: Repair irrigation in various planter areas as required.



Architectural

District Services Building

Observations: The building functions for its intended use and adequately provides for a quality space.

Recommendations: Refer to cost sheet for minor recommendations.

Plumbing Engineering

District Services Building

Observations: Most plumbing fixtures meet the standard. All fixtures are ADA compliant. Fixtures are in good condition.

Recommendations: No modernization is required until after 10 years. • No ADA retrofit is suggested. • Some fixtures may be replaced to save water.

HVAC

District Services Building

Observations: The package units do not comply with the district standard. The split system does not comply with the district standard. The EMS is full DDC.

Recommendations: This building is not energy efficient. • This building would benefit from the installation of high efficiency package units. • No modernization is required before 3-5 years.

Electrical Engineering

Site Electrical Distribution System

Observation: The District Support Services building site electrical distribution system meets district standards. The main switchboard is capable of handling future power requirements.

Recommendation: No work recommended.

Site Electrical Lighting System

Observation: Parking lot lighting and exterior pathway lighting provides adequate coverage. Light fixtures are in fair condition and meet district standards.

Recommendation: The District Support Services building is in need of surveillance lighting controls to provide adequate lighting coverage for the surveillance camera system.

Electrical Distribution system

Observation: The electrical distribution system for the District Support Services building is in good condition.

Recommendation: No work recommended.

Electrical Lighting System

Observation: The electrical lighting system is in good condition with adequate lighting coverage.

Recommendation: No work recommended at this time.

Site Theatrical Lighting System

Observation: The District Support Services building does not have or require a theatrical lighting system.

Recommendation: No work recommended.

Site Sound Reinforcement System

Observation: The District Support Services building does not have or require a sound reinforcement system.

Recommendation: No work recommended.



Low Voltage

Site Fire Alarm System

Observation: The Fire Alarm system is in poor condition and is not compliant with current electrical codes and District standards.

Recommendation: A new Fire Alarm system should be installed. • Fire Alarm devices and wiring should be replaced.

Site Telephone System

Observation: The District Support Services building telephone system is part of a shared telephone system. The PBX is located in the District Office West building. The system is in fair condition but does not meet current District standards.

Recommendation: Replace telephone system, cabling, and handsets.

Site Clock System

Observation: The current clock system in the District Support Services building does not meet district standards.

Recommendation: Replace clock system and devices.

CATV System

Observation: This site does not have a CATV system.

Recommendation: No work recommended.

Site Public Address System

Observation: The District Support Services building does not have a public address system.

Recommendation: No work recommended.

Site Camera Surveillance System

Observation: The camera surveillance system is in fair condition and has adequate coverage. The current system does not entirely meet the District standard.

Recommendation: Replace existing system electronics and cabling.

Site Audio Visual System

Observation: There is (1) location in the District Support Services building that does not meet District standards.

Recommendation: Replace projector and projector screen. • Install new audio visual controls, loudspeakers, and wiring.

Data System

Observation: The current data system does not meet District standards. The data system space does not provide adequate room and cooling. Network cabling does not have the capabilities to run high speed networks as required by District standards. The data room does not have the required UPS for power backup.

Recommendation: Replace network cabling. • The data system requires a new dedicated room with a separate cooling system. • Requires a new UPS to meet District standards.



Construction Services Building



General Information

Grade Level Configuration: N/A

Enrollment Capacity:

Site Acreage: (included in DO West)

Total Plan Square Footage: 5,074

Overview: The 5,074 square foot Construction Services Building was opened in 2002, and serves to provide office, conference room and storage space for the District's Construction Services Departments.

















Year Built/Renovated/Modernized

Based on available drawings and discussions with District maintenance personnel, we obtained the following information regarding year constructed and Division of the State Architect (DSA) approval for campus construction projects.

Opened: 2002
Architect: Darden

Building/Rooms:	DSA Application Number:	Approval Date:	MODERNIZATION ELIGIBILITY	
			25 Years + 12 Months:	50 Years + 12 Months:
N/A	N/A			

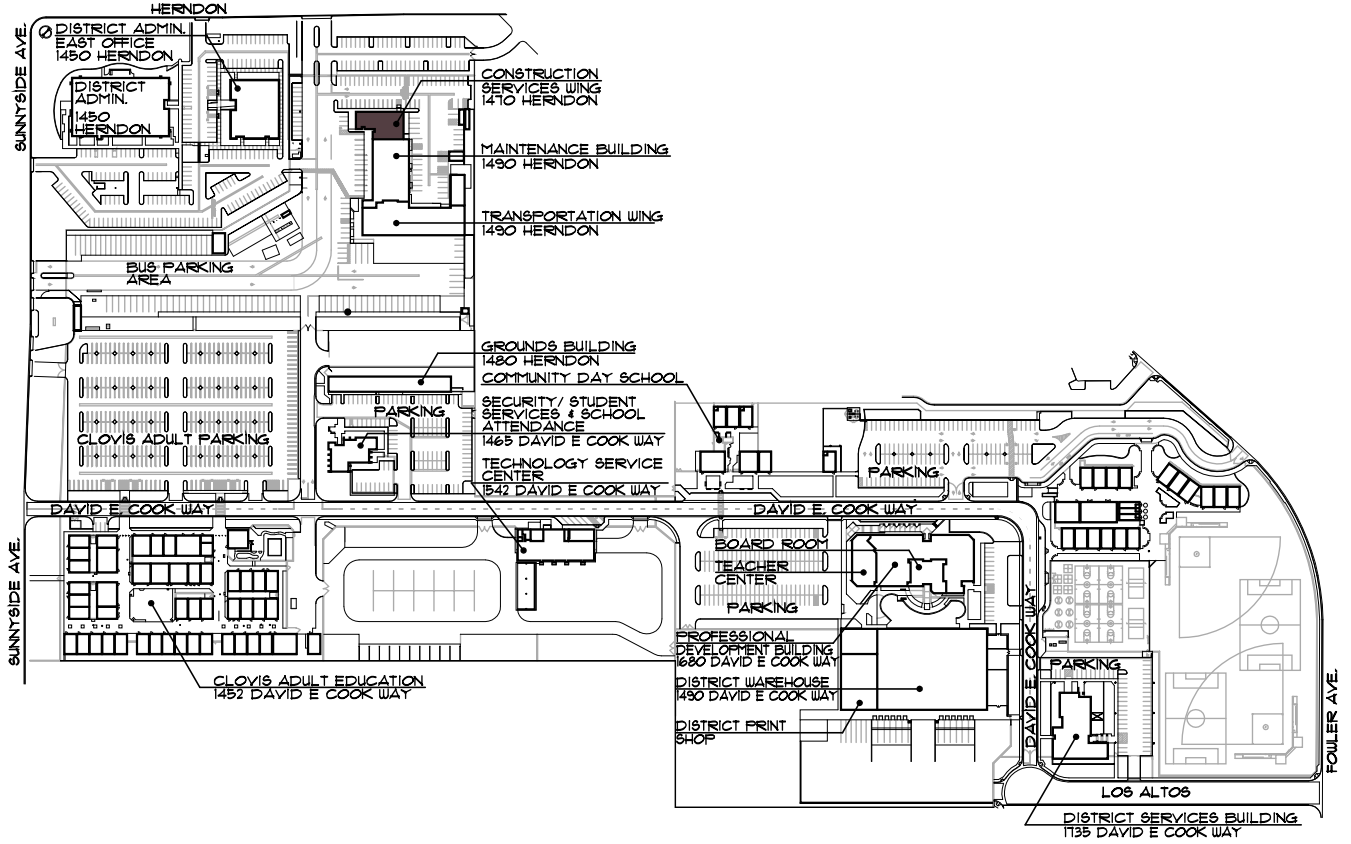
Site Plan Legend

-  Classroom Building
-  Kindergarten
-  Multipurpose Room
-  Snack Bar
-  Administration
-  Library/Media Center
-  Locker Room
-  Wrestling/Weights
-  Restroom
-  Gymnasium
-  Shop Building
-  Maintenance
-  Cluster Office
-  Storage Building
-  Concert Hall
-  Field House
-  Pool Office
-  Portables
-  Large Gym
-  Small Gym





Site Plan



Civil Engineering

ADA Compliance

Observation: The concrete condition is good. The accessible stalls are not located nearest the facility as required by code. The accessible stall signage and striping require major changes to relocate accessible stalls. ADA detectable warning surface is required in a few locations.

Recommendation: Relocate accessible stall signage and striping to nearest parking stalls as required. • Add ADA detectable warning surface at various locations.

Site Drainage

Observation: The storm drain system is in good working condition.

Recommendation: No work recommended.

Transportation Facilities

Observation: There are 158 standard parking stalls. There are 4 accessible parking stalls. There are no bicycle racks.

Recommendation: Additional accessible stalls are dependent upon employee needs as required by code. • Add bicycle racks as required by facility use.

Athletic Facilities

Observation: Not applicable.

Recommendation: Not applicable.

Landscape

Observation: There are a few locations of bare planters. There are a few locations of bare turf. Weed control is good.

Recommendation: Add shrubs, ground cover, and trees to bare planters. • Replace turf in bare areas. • Eradicate weeds as required.

Irrigation System

Observation: The irrigation system is 25 years old and has exceeded the District Standard age limit, but is still in fair working condition. Minor irrigation repairs are required in various planter areas.

Recommendation: Repair irrigation in various planter areas as required.



Architectural

Construction Services

Observations: The building functions for its intended use and adequately provides for a quality space.

Recommendations: Refer to cost sheet for minor recommendations.

Plumbing Engineering

Construction Services

Observations: All plumbing fixtures meet the standard. Conference room fixtures are not ADA compliant. Fixtures are in good condition.

Recommendations: No modernization is required until after 10 years. • No ADA retrofit is suggested.

HVAC

Construction Services

Observations: The package units comply with the district standard. The split system does not, but is slightly less efficient than the standard. All exhaust fans are operating. The data room does not have separate cooling. The EMS is full DDC.

Recommendations: This building is very energy efficient. • The data room requires separate cooling to be installed. • No other modernization is required until after 10 years.

Electrical Engineering

Site Electrical Distribution System

Observation: The Construction Services building is connected to a shared site electrical distribution system located in back of the District Office East building. The site electrical system is in poor condition and is not compliant with current electrical codes. The site electrical distribution system does not have the capability for future growth and does not meet District standards.

Recommendation: The site electrical system main switchboard should be replaced along with feeder cables to each building's electrical distribution panel.

Site Electrical Lighting System

Observation: Parking lot lighting and exterior pathway lighting provides adequate coverage. Light fixtures are in fair condition and meet district standards.

Recommendation: The Construction Services building is in need of surveillance lighting controls to provide adequate lighting coverage for the surveillance camera system.

Electrical Distribution system

Observation: The electrical distribution system for the Construction Services building is in good condition.

Recommendation: Only minimal replacement and/or addition of electrical outlets and breakers is recommended.

Electrical Lighting System

Observation: The electrical lighting system is in good condition with good coverage.

Recommendation: No work recommended.

Site Theatrical Lighting System

Observation: The Construction Services building does not have or require a theatrical lighting system.

Recommendation: No work recommended.

Site Sound Reinforcement System

Observation: The Construction Services building does not have or require a sound reinforcement system.

Recommendation: No work recommended.



Low Voltage

Site Fire Alarm System

Observation: The Fire Alarm system is part of a shared system located in the Maintenance and Transportation building. The Fire Alarm is in poor condition and is not compliant with current electrical codes and District standards.

Recommendation: A new Fire Alarm system should be installed. All Fire Alarm devices and wiring should be replaced.

Site Telephone System

Observation: The Construction Services building telephone system is part of a shared telephone system. The PBX is located in the District Office West building. The system is in fair condition but does not meet current District standards.

Recommendation: Replace telephone system, cabling, and handsets.

Site Clock System

Observation: The current clock system in the Construction Services building does not meet district standards.

Recommendation: Replace clock system and devices.

CATV System

Observation: This site does not have a CATV system.

Recommendation: No work recommended.

Site Public Address System

Observation: The Construction Services building does not have a public address address system .

Recommendation: No work recommended at this time.

Site Camera Surveillance System

Observation: The camera surveillance system is in fair condition and has adequate coverage. The current system does not entirely meet the District standard.

Recommendation: Replace existing system electronics and cabling.

Site Audio Visual System

Observation: There are (2) locations in the Construction Services building that do not meet District standards.

Recommendation: Replace projector and projector screen. • Install new audio visual controls, loudspeakers, and wiring.

Data System

Observation: The current data system does not meet District standards. Network cabling does not have the capabilities to run high speed networks as required by District standards. The data room does not have adequate cooling or a UPS for power backup.

Recommendation: Replace network cabling. • Requires architectural improvements and separate cooling system. • Requires a new UPS to meet District standards.



Professional Development Building



General Information

Grade Level Configuration:	N/A	Overview: The Professional Development Building was added to the David E. Cook campus in 1995. The PDB houses the District's Special Education Department, Nursing Services, Teacher Center, Professional Development labs and the Governing Board Room. Many of the District's staff/community meetings are conducted in the Professional Development Building.
Enrollment Capacity:		
Site Acreage:		
Total Plan Square Footage:	24,872	

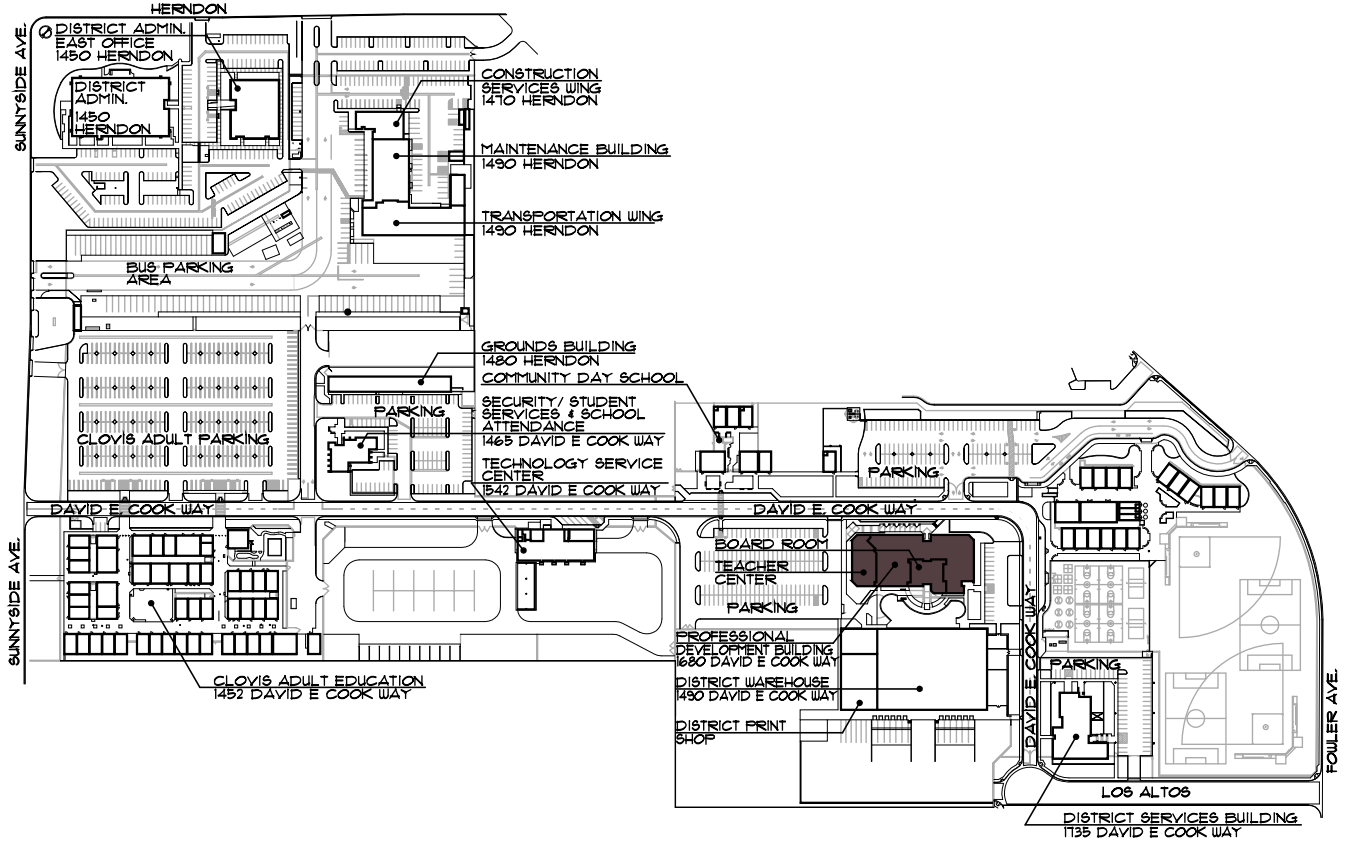
Site Plan Legend

- | | | | | | | | |
|-------------------------------------------------------------------------------------|--------------------|-------------------------------------------------------------------------------------|----------------------|-------------------------------------------------------------------------------------|-------------------|---------------------------------------------------------------------------------------|-------------------|
|  | Classroom Building |  | Kindergarten |  | Multipurpose Room |  | Snack Bar |
|  | Administration |  | Library/Media Center |  | Locker Room |  | Wrestling/Weights |
|  | Restroom |  | Gymnasium |  | Shop Building |  | Maintenance |
|  | Cluster Office |  | Storage Building |  | Concert Hall | | |
|  | Field House |  | Pool Office |  | Portables | | |
|  | Large Gym |  | Small Gym | | | | |





Site Plan



Civil Engineering

ADA Compliance

Observation: The concrete condition is good. The curb ramps do not meet ADA requirements. Some accessible stalls do not have ADA compliant path of travel. The accessible stall signage and striping require minor changes. ADA detectable warning surface is required in various locations.

Recommendation: Reconstruct curb ramps to meet ADA requirements. • Add accessible stall signage and striping as required. • Add ADA detectable warning surface at various locations.

Site Drainage

Observation: The storm drain system is in good working condition.

Recommendation: No work recommended.

Transportation Facilities

Observation: There are 99 standard parking stalls. There are 5 accessible parking stalls. There are no bicycle racks.

Recommendation: No additional accessible stalls are required to meet ADA requirements. • Add bicycle racks as required by facility use.

Athletic Facilities

Observation: Not applicable.

Recommendation: Not applicable.

Landscape

Observation: There are a few locations of bare planters. There are a few locations of bare turf. Weed control is good.

Recommendation: Add shrubs, ground cover, and trees to bare planters. • Replace turf in bare areas. • Eradicate weeds as required.

Irrigation System

Observation: The irrigation system is 15 years old and is in good working condition. Moderate irrigation repairs are required in various planter areas.

Recommendation: Repair irrigation in various planter areas as required.



Architectural

Professional Services Building

Observations: The building functions for its intended use and adequately provides for a quality space.

Recommendations: Refer to cost sheet for minor recommendations.

Plumbing Engineering

Professional Services Building

Observations: Most plumbing fixtures meet the standard. Most fixtures are ADA compliant. Fixtures are in good condition.

Recommendations: No modernization is required before 3-5 years. Some ADA retrofit is suggested.

HVAC

Professional Services Building

Observations: Most package units comply with the district standard. The data room does not have separate cooling. The EMS is full DDC.

Recommendations: This building is energy efficient. Separate cooling must be added to the data room. No other modernization is required before 6-10 years.



Summary by Discipline and Priority

David E. Cook Center		1-2	3-5	6-10	TOTALS
Site		275,562	339,055	90,300	704,917
Architectural		0	5,938,515	0	5,938,515
Plumbing		9,188	20,663	309,110	338,960
HVAC		47,598	479,631	434,956	962,185
Electrical		790,000	670,000	442,000	1,902,000
Low Voltage		2,168,800	656,000	810,800	3,635,600
	Subtotals:	\$ 3,291,147	\$ 8,103,864	\$ 2,087,166	\$ 13,482,177
Contingency	5%	164,557	405,193	104,358	674,109
Haz Mat Abatement	5%	164,557	405,193	104,358	674,109
A/E Fees	10%	329,115	810,386	208,717	1,348,218
Testing and Inspections	5%	164,557	405,193	104,358	674,109
	Total:	\$ 4,113,934	\$ 10,129,830	\$ 2,608,958	\$ 16,852,721

An additional 25% was added to each project that includes the “fees” for testing, inspection, and architectural/engineering. These costs (are in addition to the project construction costs) will need to be considered when the District chooses to schedule the project.



Projects by Discipline and Sub-Categories

David E. Cook Center	TOTALS
Site	
Site Drainage Improvements	269
Asphalt and Play Court Renovations	18,250
Fencing and Gates Upgrades	5,300
Site Concrete, Ramps, Stairs, and ADA Improvements	303,421
Site Plumbing Renovations	4,125
Transportation and Parking Lot Improvements	126,013
Landscaping, Irrigation, and Play Field Improvements	423,769
Architectural	
Additional Grounds building	2,750,000
ADA Required upgrades	4,969
Paint interior and/or exterior walls	34,875
Additional T Shed	234,375
Expand and/or reconfigure Maintenance / Transportation building	2,578,125
Fencing and Gates Upgrades	27,500
Repair and/or replace window, door and hardware systems	5,141
Repair and/or replace interior wall finishes	44,188
Replace and/or repair roofing, roof fences and fascia	1,078,125
Repair and/or replace interior ceilings	189,375
Plumbing upgrades	1,063
Repair and/or replace floors and floor coverings	449,938
Repair and/or Replace casework	25,472
Plumbing	
Classroom Plumbing Replacement	200,388
Toilet Room Plumbing Replacement.	223,313
HVAC	
HVAC/Chiller Upgrade and/or Replacement	1,202,731
Electrical	
Building Lighting Efficiency Improvements	142,500
Building Power Distribution Energy Improvements	75,000
Exterior Lighting Efficiency Improvements	742,500
Exterior Power Distribution Energy Improvements	1,417,500



Projects by Discipline and Sub-Categories

David E. Cook Center		TOTALS
Low Voltage		
Technology System Improvements		2,992,000
Fire Alarm/Life Safety		1,406,250
Exterior Lighting Efficiency Improvements		146,250
Total	\$	16,852,721



Summary by Location, Priority and Special Categories

David E. Cook Center	1-2	3-5	6-10	H&S	DFM	ADA	EE
Construction Services							
Classroom Plumbing Replacement	0	0	31,825	●		●	●
Technology System Improvements	151,625	91,875	10,000	●			
Fire Alarm/Life Safety	156,250	0	0	●			
Exterior Lighting Efficiency Improvements	16,250	0	0	●			●
HVAC/Chiller Upgrade and/or Replacement	10,244	9,311	54,294	●			●
Exterior Power Distribution Energy Improvements	157,500	0	0				
Exterior Lighting Efficiency Improvements	0	82,500	0	●			●
Building Lighting Efficiency Improvements	0	10,000	0	●			●
Toilet Room Plumbing Replacement.	0	0	18,781	●		●	●
Building Power Distribution Energy Improvements	0	7,500	0				●
Site Drainage Improvements	269	0	0				
Landscaping, Irrigation, and Play Field Improvements	0	15,500	0				
Site Concrete, Ramps, Stairs, and ADA Improvements	158	0	0	●		●	
Site Plumbing Renovations	4,125	0	0				
Transportation and Parking Lot Improvements	3,294	0	21,500			●	
Subtotals	\$ 499,714	\$ 216,686	\$ 136,400				
District Office East							
Fire Alarm/Life Safety	0	0	156,250	●			
Classroom Plumbing Replacement	0	0	22,953	●		●	●
HVAC/Chiller Upgrade and/or Replacement	0	0	123,366	●			●
Exterior Lighting Efficiency Improvements	0	82,500	0	●			●
Building Power Distribution Energy Improvements	0	0	7,500				●
Building Lighting Efficiency Improvements	0	0	10,000	●			●
Toilet Room Plumbing Replacement.	0	0	42,750	●		●	●
Technology System Improvements	61,250	85,000	56,000	●			
Exterior Lighting Efficiency Improvements	16,250	0	0	●			●
Exterior Power Distribution Energy Improvements	157,500	0	0				
Fencing and Gates Upgrades	0	50	0				
Landscaping, Irrigation, and Play Field Improvements	0	14,313	0				
Site Concrete, Ramps, Stairs, and ADA Improvements	40,219	0	0	●		●	
Transportation and Parking Lot Improvements	0	0	21,500			●	
Subtotals	\$ 275,219	\$ 181,863	\$ 440,319				



Summary by Location, Priority and Special Categories

David E. Cook Center	1-2	3-5	6-10	H&S	DFM	ADA	EE
District Office West							
Asphalt and Play Court Renovations	15,750	0	0			•	
Transportation and Parking Lot Improvements	3,675	0	21,500			•	
Site Concrete, Ramps, Stairs, and ADA Improvements	93,434	0	0	•		•	
Landscaping, Irrigation, and Play Field Improvements	0	41,019	0				
Building Power Distribution Energy Improvements	0	7,500	0				•
Exterior Lighting Efficiency Improvements	0	82,500	0	•			•
Exterior Power Distribution Energy Improvements	157,500	0	0				
Fire Alarm/Life Safety	156,250	0	0	•			
Building Lighting Efficiency Improvements	0	0	10,000	•			•
Technology System Improvements	144,750	85,000	23,750	•			
Repair and/or Replace casework	0	4,219	0			•	
Exterior Lighting Efficiency Improvements	16,250	0	0	•			•
Classroom Plumbing Replacement	0	0	30,703	•		•	•
Toilet Room Plumbing Replacement.	0	0	69,406	•		•	•
HVAC/Chiller Upgrade and/or Replacement	0	0	108,863	•			•
Subtotals	\$ 587,609	\$ 220,238	\$ 264,222				
District Services							
Fire Alarm/Life Safety	156,250	0	0	•			
ADA Required upgrades	0	4,969	0			•	
Paint interior and/or exterior walls	0	11,250	0		•		
Repair and/or Replace casework	0	8,264	0			•	
Repair and/or replace floors and floor coverings	0	95,000	0		•		
Repair and/or replace interior ceilings	0	1,875	0				
Transportation and Parking Lot Improvements	250	0	10,750			•	
Site Concrete, Ramps, Stairs, and ADA Improvements	68,125	0	0	•		•	
Landscaping, Irrigation, and Play Field Improvements	0	18,875	0				
Fencing and Gates Upgrades	1,250	0	0				
Technology System Improvements	289,500	91,875	0	•			
Exterior Lighting Efficiency Improvements	0	82,500	0	•			•
Exterior Lighting Efficiency Improvements	16,250	0	0	•			•
Building Power Distribution Energy Improvements	0	0	7,500				•
Building Lighting Efficiency Improvements	0	0	10,000	•			•
HVAC/Chiller Upgrade and/or Replacement	0	0	112,905	•			•
Exterior Power Distribution Energy Improvements	0	0	157,500				
Subtotals	\$ 531,625	\$ 314,608	\$ 298,655				



Summary by Location, Priority and Special Categories

David E. Cook Center	1-2	3-5	6-10	H&S	DFM	ADA	EE
Grounds							
Building Lighting Efficiency Improvements	0	10,000	0	●			●
Fencing and Gates Upgrades	1,500	0	0				
HVAC/Chiller Upgrade and/or Replacement	12,844	49,772	15,923	●			●
Exterior Lighting Efficiency Improvements	16,250	0	0	●			●
Site Concrete, Ramps, Stairs, and ADA Improvements	27,888	0	0	●		●	
Building Power Distribution Energy Improvements	0	7,500	0				●
Transportation and Parking Lot Improvements	2,238	0	0			●	
Repair and/or replace interior ceilings	0	37,500	0				
Technology System Improvements	274,125	91,875	0	●			
Landscaping, Irrigation, and Play Field Improvements	0	11,000	0				
Repair and/or replace interior wall finishes	0	5,000	0				
Classroom Plumbing Replacement	0	0	19,078	●		●	●
Repair and/or replace floors and floor coverings	0	6,188	0		●		
Additional Grounds building	0	2,750,000	0				
Exterior Power Distribution Energy Improvements	157,500	0	0				
Toilet Room Plumbing Replacement.	0	0	5,391	●		●	●
Exterior Lighting Efficiency Improvements	0	82,500	0	●			●
Fire Alarm/Life Safety	0	0	156,250	●			
Subtotals	\$ 492,344	\$ 3,051,334	\$ 196,642				
Maintenance & Transportation							
Building Power Distribution Energy Improvements	0	15,000	0				●
Technology System Improvements	313,250	98,750	10,000	●			
Fire Alarm/Life Safety	156,250	0	0	●			
Exterior Lighting Efficiency Improvements	16,250	0	0	●			●
Classroom Plumbing Replacement	11,484	18,047	16,391	●		●	●
Toilet Room Plumbing Replacement.	0	1,641	29,500	●		●	●
Exterior Lighting Efficiency Improvements	0	82,500	0	●			●
Building Lighting Efficiency Improvements	0	20,000	0	●			●
Additional T Shed	0	234,375	0				
Expand and/or reconfigure Maintenance / Transportation building	0	2,578,125	0				
Fencing and Gates Upgrades	0	27,500	0				
HVAC/Chiller Upgrade and/or Replacement	13,322	121,042	0	●			●
Exterior Power Distribution Energy Improvements	157,500	0	0				
Subtotals	\$ 668,056	\$ 3,196,980	\$ 55,891				



Summary by Location, Priority and Special Categories

David E. Cook Center	1-2	3-5	6-10	H&S	DFM	ADA	EE
Professional Development							
Exterior Power Distribution Energy Improvements	0	0	157,500				
Repair and/or replace interior wall finishes	0	39,188	0				
Repair and/or replace window, door and hardware systems	0	4,250	0			•	
Replace and/or repair roofing, roof fences and fascia	0	359,375	0		•		
Transportation and Parking Lot Improvements	1,875	0	26,875			•	
Site Concrete, Ramps, Stairs, and ADA Improvements	45,196	0	0	•		•	
Landscaping, Irrigation, and Play Field Improvements	0	33,875	0				
Asphalt and Play Court Renovations	2,500	0	0			•	
Repair and/or replace interior ceilings	0	62,500	0				
Exterior Lighting Efficiency Improvements	0	82,500	0	•			•
Building Lighting Efficiency Improvements	42,500	0	10,000	•			•
HVAC/Chiller Upgrade and/or Replacement	0	86,463	117,945	•			•
Exterior Lighting Efficiency Improvements	16,250	0	0	•			•
Fire Alarm/Life Safety	0	0	156,250	•			
Technology System Improvements	161,625	91,875	112,500	•			
Toilet room plumbing replacement.	0	0	21,063	•		•	•
Classroom Plumbing Replacement	0	4,406	3,203	•		•	•
Building Power Distribution Energy Improvements	0	0	7,500				•
Repair and/or Replace casework	0	4,219	0			•	
Paint interior and/or exterior walls	0	23,625	0		•		
Repair and/or replace floors and floor coverings	0	142,500	0		•		
Subtotals	\$ 269,946	\$ 934,775	\$ 612,836				



Summary by Location, Priority and Special Categories

David E. Cook Center	1-2	3-5	6-10	H&S	DFM	ADA	EE
Security & Attendance							
Technology System Improvements	279,500	91,875	10,000	●			
Transportation and Parking Lot Improvements	1,306	0	10,750			●	
Landscaping, Irrigation, and Play Field Improvements	0	21,438	0				
HVAC/Chiller Upgrade and/or Replacement	12,844	52,956	10,400	●			●
Building Lighting Efficiency Improvements	0	0	10,000	●			●
Classroom Plumbing Replacement	0	1,734	18,938	●		●	●
Site Concrete, Ramps, Stairs, and ADA Improvements	27,728	0	0	●		●	
Fire Alarm/Life Safety	0	0	156,250	●			
Toilet Room Plumbing Replacement.	0	0	34,781	●		●	●
Exterior Power Distribution Energy Improvements	157,500	0	0				
Exterior Lighting Efficiency Improvements	0	82,500	0	●			●
Repair and/or replace interior ceilings	0	87,500	0				
Repair and/or Replace casework	0	802	0			●	
Building Power Distribution Energy Improvements	0	7,500	0				●
Exterior Lighting Efficiency Improvements	16,250	0	0	●			●
Subtotals	\$ 495,128	\$ 346,305	\$ 251,119				
Warehouse & Graphic Arts							
Building Power Distribution Energy Improvements	0	0	7,500				●
Exterior Power Distribution Energy Improvements	0	0	157,500				
Classroom Plumbing Replacement	0	0	21,625	●		●	●
Building Lighting Efficiency Improvements	0	10,000	0	●			●
Exterior Lighting Efficiency Improvements	16,250	0	0	●			●
Fire Alarm/Life Safety	0	0	156,250	●			
Technology System Improvements	264,125	91,875	10,000	●			
HVAC/Chiller Upgrade and/or Replacement	10,244	279,995	0	●			●
Site Concrete, Ramps, Stairs, and ADA Improvements	675	0	0	●		●	
Plumbing upgrades	0	1,063	0	●			
Repair and/or Replace casework	0	7,969	0			●	
Repair and/or replace floors and floor coverings	0	206,250	0		●		
Repair and/or replace window, door and hardware systems	0	891	0			●	
Replace and/or repair roofing, roof fences and fascia	0	718,750	0		●		
Transportation and Parking Lot Improvements	500	0	0			●	
Exterior Lighting Efficiency Improvements	0	82,500	0	●			●
Fencing and Gates Upgrades	2,500	0	0				
Landscaping, Irrigation, and Play Field Improvements	0	267,750	0				
Subtotals	\$ 294,294	\$ 1,667,042	\$ 352,875				

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